

CITY OF MERCER ISLAND

DEVELOPMENT SERVICES GROUP

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
PHONE: 206.275.7605 | www.mercergov.org



INSPECTION REQUESTS:



voicemail: (206) 275-7730

NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56

CONTACT INFORMATION:

Applicant is to complete the following information.

Applicant Contact information prior to permit issuance: Name, Address, Phone, Email
Applicant Contact information post permit issuance: Name, Address, Phone, Email

REQUIRED SPECIAL INSPECTIONS / STRUCTURAL OBSERVATIONS:

It is the Engineer of Record's responsibility to specify all required Special Inspections or Structural Observation (check items below). The owner is responsible for hiring an approved private Special Inspector for the checked inspections noted below.

STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR): Engineer of Record, Company, Phone, General Conformance to Construction Documents, Other

SOILS / GEOTECHNICAL: Special Inspector, Company, Phone, Erosion control measures, Subsurface drainage placement, Shoring installation and monitoring, Verify fill material and compaction, etc.

REINFORCED CONCRETE: Special Inspector, Company, Phone, Concrete strength, Retaining wall construction, Reinforcing steel and concrete placement, etc.

STRUCTURAL STEEL: Special Inspector, Company, Phone, Fabrication and shop welds, Moment Frame construction, Structural steel erection, field welds and bolting, etc.

STRUCTURAL MASONRY: Special Inspector, Company, Phone, Mortar strength, Glass unit masonry installation, Masonry unit strength, Wall panel and veneer installation, etc.

WOOD: Special Inspector / Engineer of Record, Company, Phone, Lateral resisting system construction, High strength diaphragm construction, etc.

OTHER SPECIAL INSPECTIONS: Special Inspector, Company, Phone, Epoxy grout installations, Stucco installation, Expansion anchor installations, etc.

DEFERRED SUBMITTALS:

The Applicant is required to select all deferred submittals / shop drawings for submittal to the City for review and approval prior to item fabrication / construction.

Connector plate wood trusses, Metal joist / metal trusses, Post tension layout, Exterior cladding, etc.

ENERGY CODE COMPLIANCE INFORMATION:

Indicate where the following information is located in the drawing set. Alternatively, incorporate or include the Residential Energy Code Prescriptive Compliance (RECPC) Form into the drawing set.

Building envelope, Air Leakage Testing, Whole house ventilation, Duct Leakage Testing, Energy Credit Information, etc.

TO BE COMPLETED BY DSG

PROJECT ALERTS:

Construction of the project shall be from approved plans only. No deviation from the approved project plans is allowed without prior approval from the City of Mercer Island.

Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: Site Considerations, ROW restrictions, Additional Fire Code Requirements, etc.

TREE PROTECTION REQUIREMENTS:

Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and must remain in place throughout the project.

FIRE PROTECTION REQUIREMENTS:

Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614

Fire Sprinkler, Monitored Household Fire Alarm per NFPA 72, NFPA 13D, NFPA 13R, NFPA 13, etc.

WATER SUPPLY REQUIREMENTS:

Fire sprinkler design calculations must be provided prior to determining water supply system requirements. Water Supply system upgrade required, etc.

DRAINAGE REQUIREMENTS:

On site detention system required, Direct discharge into the lake, On site infiltration system required, etc.

SIDE SEWER REQUIREMENTS:

Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is lower than the elevation of the upstream manhole rim, etc.

APPROVED CODE ALTERNATIVES:

Code alternatives must be inspected. Refer to the Inspection Checklist. CA1, CA2, etc.

SURVEY REQUIREMENTS (The following survey information must be submitted when checked):

Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot.

Surveyor, Building height survey, Building setback survey, Impervious surface survey, etc.

GEOTECHNICAL INFORMATION:

Land clearing, grading, filling and foundation work within geologic hazard areas is NOT PERMITTED between October 1 and April 1 without an approved Seasonal Development Limitation Waiver.

Geotechnical Report provided. All construction must comply with the recommendations of the Geotechnical Report.

SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1.

Permit number, Approved by, Date

TO BE COMPLETED BY DSG

TO BE COMPLETED BY DSG

REQUIRED CONSTRUCTION INSPECTIONS:

It is the applicant's responsibility to contact DSG to schedule ALL inspections appropriate for the project. Request inspections online at www.MyBuildingPermit.com or by calling the Inspection Hotline at (206) 275-7730.

Inspector shall initial and date appropriate inspection only if approved. Note: Items marked with an "\*" require a separate permit. It is the applicants responsibility to apply for and obtain all City of Mercer Island permits.

Pre-construction Meeting to Review Conditions of Permit Approval, Tree protection, Erosion control, Sewer disconnect and cap, etc.

Final Inspection: Tree Restoration, Fire protection, Fuel Tank Installation, Fire Extinguishing System, etc.

90 DAY TEMPORARY CERTIFICATE OF OCCUPANCY (TCO):

Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed.

Approved, Start Date, End Date

ADDITIONAL REQUIRED CITY INSPECTIONS:

Call the appropriate contact to arrange the inspection. Required Inspection(s), Contact, Phone, Scheduling

IMPACT FEES: PLAN REVIEW APPROVALS:

Impact fees apply and are due prior to Final Inspection or on Date, Building, Planning, Engineering, Tree, Fire

TO BE COMPLETED BY DSG

TO BE COMPLETED BY APPLICANT

TO BE COMPLETED BY APPLICANT

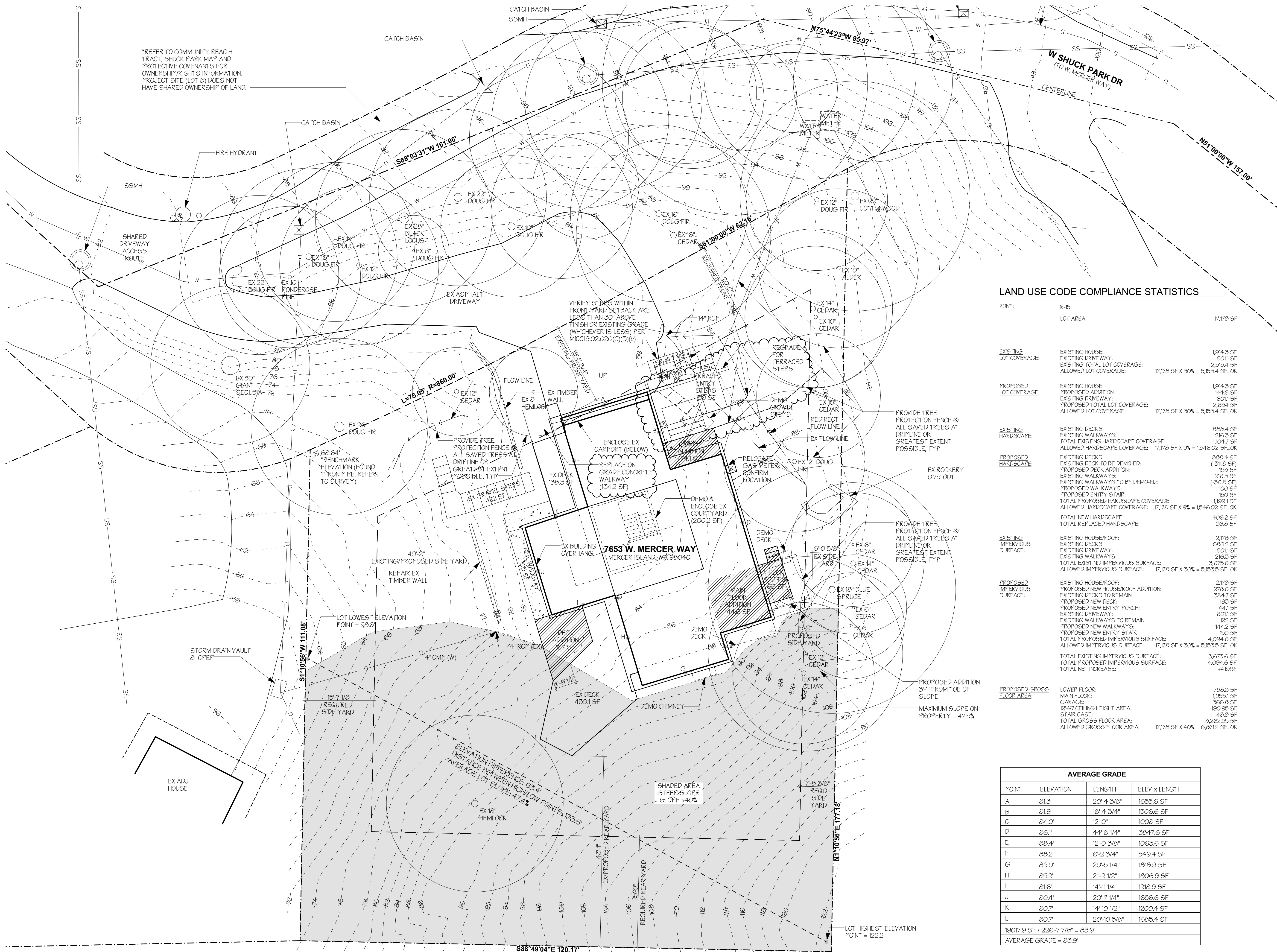


CERTIFICATE OF OCCUPANCY issued after all required inspections have been performed and approved.

PROJECT NAME: PROJECT ADDRESS:

APPROVED DRAWINGS MUST BE KEPT ON THE BUILDING SITE AT ALL TIMES REVIEWED FOR CODE COMPLIANCE





\*REFER TO COMMUNITY REACH TRACT, SHUCK PARK MAP AND PROTECTIVE COVENANTS FOR OWNERSHIP/RIGHTS INFORMATION. PROJECT SITE (LOT B) DOES NOT HAVE SHARED OWNERSHIP OF LAND.

**LAND USE CODE COMPLIANCE STATISTICS**

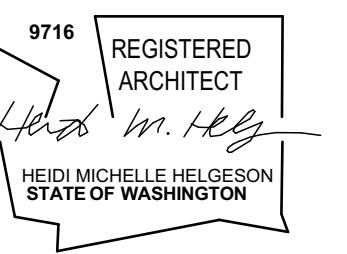
ZONE:	R-15	LOT AREA:	17,178 SF	
EXISTING LOT COVERAGE:	EXISTING HOUSE: 1,994.3 SF EXISTING DRIVEWAYS: 6,011.5 SF EXISTING TOTAL LOT COVERAGE: 2,595.4 SF ALLOWED LOT COVERAGE: 17,178 SF X 30% = 5,153.4 SF_OK			
PROPOSED LOT COVERAGE:	EXISTING HOUSE: 1,994.3 SF PROPOSED ADDITION: 144.6 SF PROPOSED TOTAL LOT COVERAGE: 2,634.9 SF ALLOWED LOT COVERAGE: 17,178 SF X 30% = 5,153.4 SF_OK			
EXISTING HARDSCAPE:	EXISTING DECKS: 888.4 SF EXISTING WALKWAYS: 216.3 SF TOTAL EXISTING HARDSCAPE COVERAGE: 1,104.7 SF ALLOWED HARDSCAPE COVERAGE: 17,178 SF X 9% = 1,546.02 SF_OK			
PROPOSED HARDSCAPE:	EXISTING DECKS: 888.4 SF EXISTING DECK TO BE DEMO'ED: (-311.8 SF) PROPOSED DECK ADDITION: 193 SF EXISTING WALKWAYS: 216.3 SF EXISTING WALKWAYS TO BE DEMO'ED: (-36.8 SF) PROPOSED WALKWAYS: 100 SF PROPOSED ENTRY STAIR: 150 SF TOTAL PROPOSED HARDSCAPE COVERAGE: 1,193.1 SF ALLOWED HARDSCAPE COVERAGE: 17,178 SF X 9% = 1,546.02 SF_OK			
EXISTING IMPERVIOUS SURFACE:	TOTAL NEW HARDSCAPE: 406.2 SF TOTAL REPLACED HARDSCAPE: 36.8 SF			
PROPOSED IMPERVIOUS SURFACE:	EXISTING HOUSE/ROOF: 2,178 SF EXISTING DECKS: 680.2 SF EXISTING DRIVEWAYS: 6,011.5 SF EXISTING WALKWAYS: 216.3 SF TOTAL EXISTING IMPERVIOUS SURFACE: 3,675.6 SF ALLOWED IMPERVIOUS SURFACE: 17,178 SF X 30% = 5,153.5 SF_OK			
PROPOSED IMPERVIOUS SURFACE:	EXISTING HOUSE/ROOF: 2,178 SF PROPOSED NEW HOUSE ROOF ADDITION: 278.6 SF EXISTING DECKS TO REMAIN: 384.7 SF PROPOSED NEW DECK: 193 SF PROPOSED NEW ENTRY PORCH: 44.1 SF EXISTING DRIVEWAYS: 6,011.5 SF EXISTING WALKWAYS TO REMAIN: 122 SF PROPOSED NEW WALKWAYS: 144.2 SF PROPOSED NEW ENTRY STAIR: 150 SF TOTAL PROPOSED IMPERVIOUS SURFACE: 4,994.6 SF ALLOWED IMPERVIOUS SURFACE: 17,178 SF X 30% = 5,153.5 SF_OK			
PROPOSED GROSS FLOOR AREA:	TOTAL EXISTING IMPERVIOUS SURFACE: 3,675.6 SF TOTAL PROPOSED IMPERVIOUS SURFACE: 4,994.6 SF TOTAL NET INCREASE: +1,319 SF	LOWER FLOOR: 738.3 SF MAIN FLOOR: 1,351.1 SF GARAGE: 366.8 SF 12'-16" CEILING HEIGHT AREA: +190.95 SF STAR CASE: 48.8 SF TOTAL GROSS FLOOR AREA: 3,262.35 SF ALLOWED GROSS FLOOR AREA: 17,178 SF X 40% = 6,871.2 SF_OK		

**AVERAGE GRADE**

POINT	ELEVATION	LENGTH	ELEV x LENGTH
A	81.3'	20'-4 3/8"	1655.6 SF
B	81.9'	18'-4 3/4"	1506.6 SF
C	84.0'	12'-0"	1008 SF
D	86.1'	44'-8 1/4"	3847.6 SF
E	88.4'	12'-0 3/8"	1063.6 SF
F	88.2'	6'-2 3/4"	549.4 SF
G	89.0'	20'-5 1/4"	1818.9 SF
H	85.2'	21'-2 1/2"	1806.9 SF
I	81.6'	14'-11 1/4"	1218.9 SF
J	80.4'	20'-7 1/4"	1656.6 SF
K	80.7'	14'-10 1/2"	1200.4 SF
L	80.7'	20'-10 5/8"	1685.4 SF
19017.9 SF / 226'-7 7/8" = 83.9			
AVERAGE GRADE = 83.9			

**SITE PLAN**  
SCALE: 1" = 10'

**PEHA RESIDENCE**  
7653 W MERCER WAY  
MERCER ISLAND WA 98040



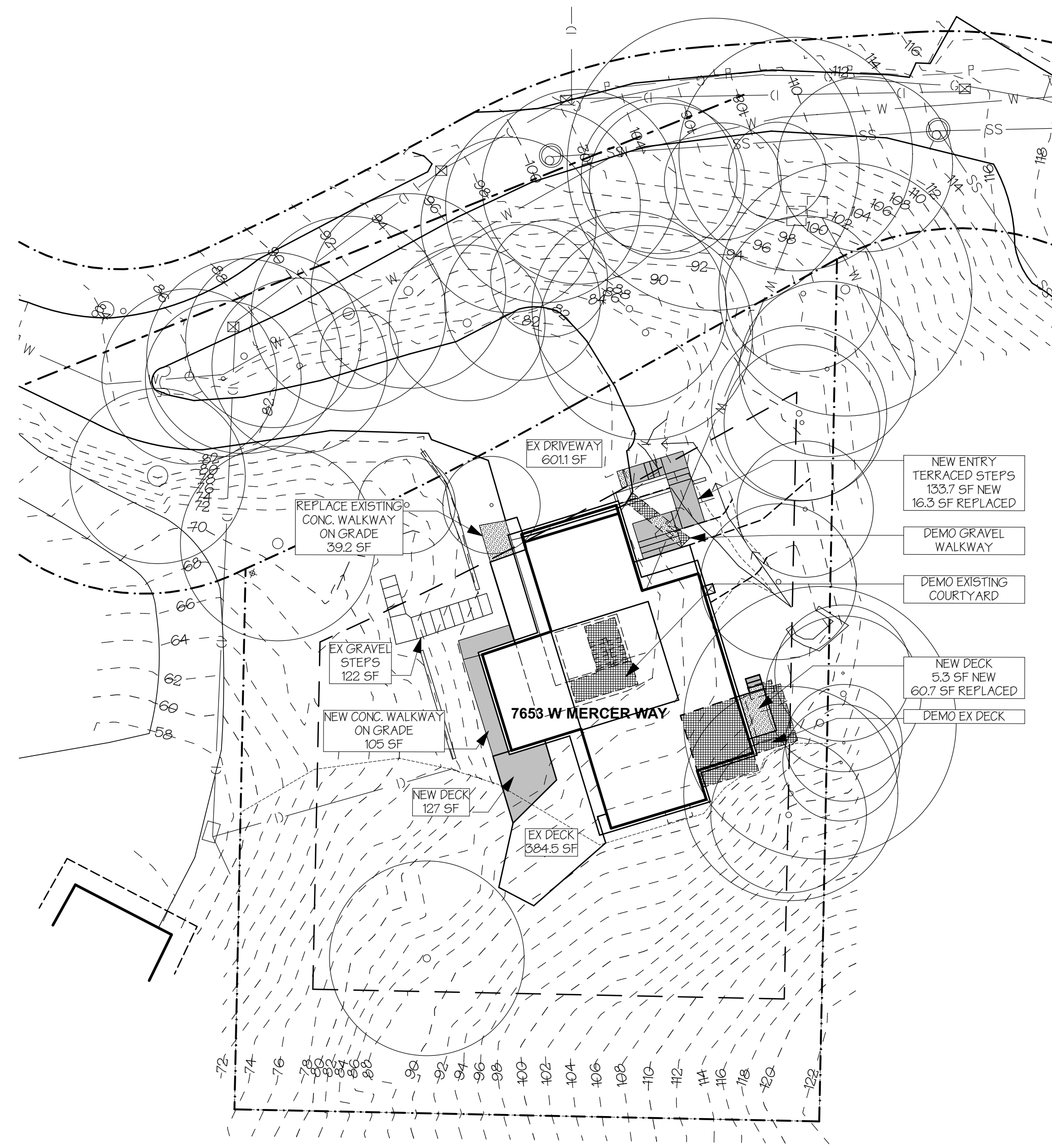
**H 2 D**  
ARCHITECTURE  
+  
DESIGN

23020 EDMONDS WAY, #113  
EDMONDS, WA 98020  
P. 206.542.3734  
www.h2darchitects.com

DATE: 07/12/2018  
REVISED: 12/12/2018

PERMIT SET

SITE PLAN  
**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
SITE COPY

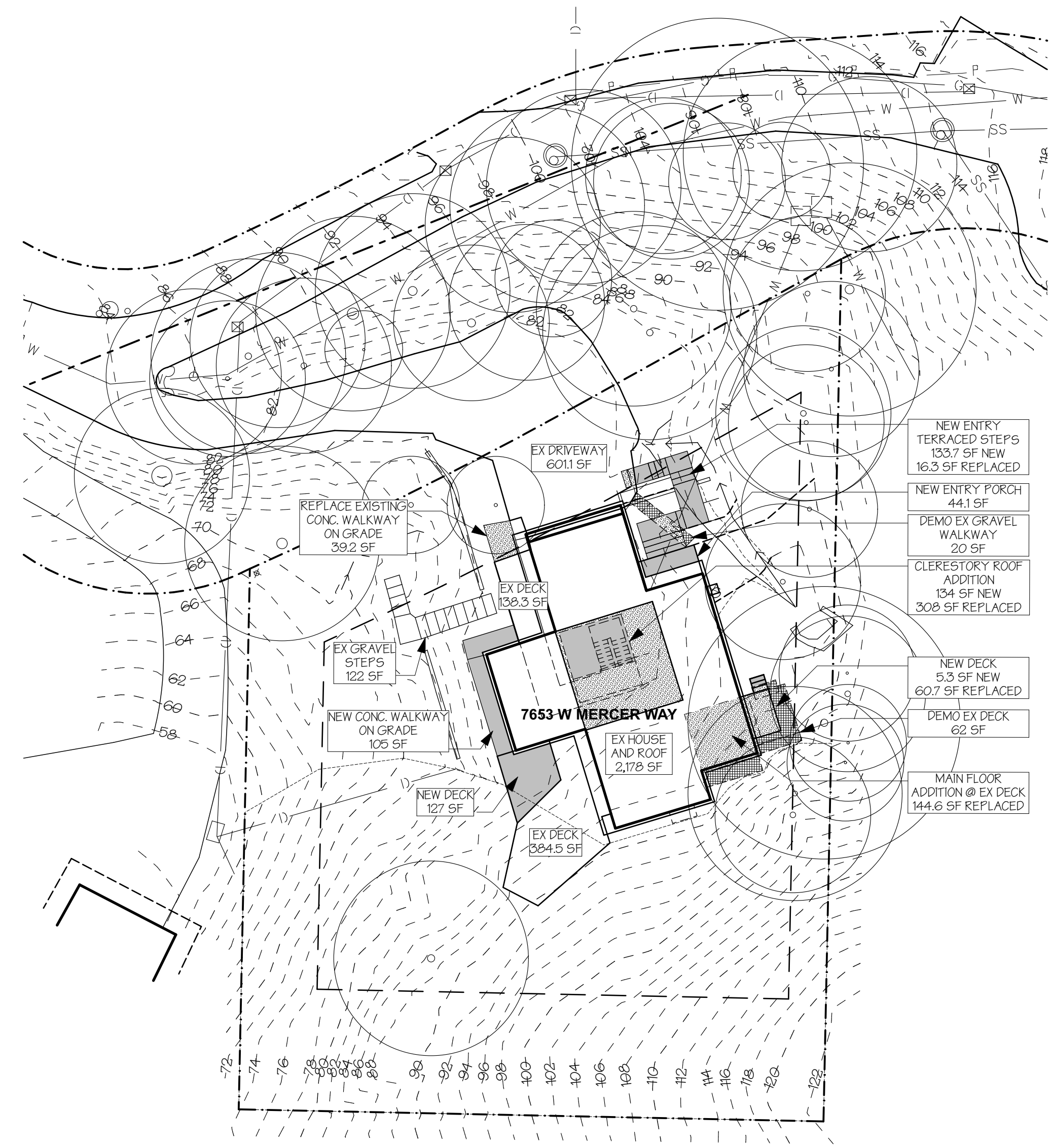
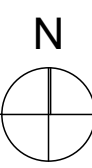


**SITE PLAN - HARDSCAPE**

SCALE: 1" = 20'

- EXISTING TO REMAIN
- DEMO
- REPLACED HARD SURFACE
- NEW HARD SURFACE

<b>EXISTING HARDSCAPE:</b>	EXISTING DECKS: 888.4 SF	EXISTING WALKWAYS: 216.3 SF	TOTAL EXISTING HARDSCAPE COVERAGE: 1104.7 SF	ALLOWED HARDSCAPE COVERAGE: 17,178 SF X 9% = 1546.02 SF...OK
<b>PROPOSED HARDSCAPE:</b>	EXISTING DECKS TO BE DEMO-ED: 384.5 SF	PROPOSED DECK ADDITION: 193 SF	EXISTING WALKWAYS TO BE DEMO-ED: 36.8 SF	PROPOSED WALKWAYS: 100 SF
	PROPOSED ENTRY STAIR: 150 SF	TOTAL PROPOSED HARDSCAPE COVERAGE: 1199.1 SF	ALLOWED HARDSCAPE COVERAGE: 17,178 SF X 9% = 1546.02 SF...OK	
	TOTAL NEW HARDSCAPE: 406.2 SF	TOTAL REPLACED HARDSCAPE: 36.8 SF		

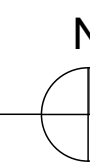


**SITE PLAN - IMPERVIOUS SURFACE**

SCALE: 1" = 20'

- EXISTING TO REMAIN
- DEMO
- REPLACED IMPERVIOUS SURFACE
- NEW IMPERVIOUS SURFACE

<b>EXISTING IMPERVIOUS SURFACE:</b>	EXISTING HOUSE/ROOF: 2,178 SF	EXISTING DECKS: 680.2 SF	EXISTING DRIVEWAY: 6011 SF	EXISTING WALKWAYS: 216.3 SF	TOTAL EXISTING IMPERVIOUS SURFACE: 3,675.6 SF	ALLOWED IMPERVIOUS SURFACE: 17,178 SF X 30% = 5,153.5 SF...OK
<b>PROPOSED IMPERVIOUS SURFACE:</b>	EXISTING HOUSE/ROOF: 2,178 SF	PROPOSED NEW HOUSE/ROOF ADDITION: 278.6 SF	EXISTING DECKS TO REMAIN: 384.5 SF	PROPOSED NEW DECK: 193 SF	PROPOSED NEW ENTRY PORCH: 44.1 SF	EXISTING DRIVEWAY: 6011 SF
	EXISTING WALKWAYS TO REMAIN: 122 SF	PROPOSED NEW WALKWAYS: 144.2 SF	PROPOSED NEW ENTRY STAIR: 150 SF	TOTAL PROPOSED IMPERVIOUS SURFACE: 4,094.6 SF	ALLOWED IMPERVIOUS SURFACE: 17,178 SF X 30% = 5,153.5 SF...OK	
	TOTAL EXISTING IMPERVIOUS SURFACE: 3,675.6 SF	TOTAL PROPOSED IMPERVIOUS SURFACE: 4,094.6 SF	TOTAL NET INCREASE: +419 SF			



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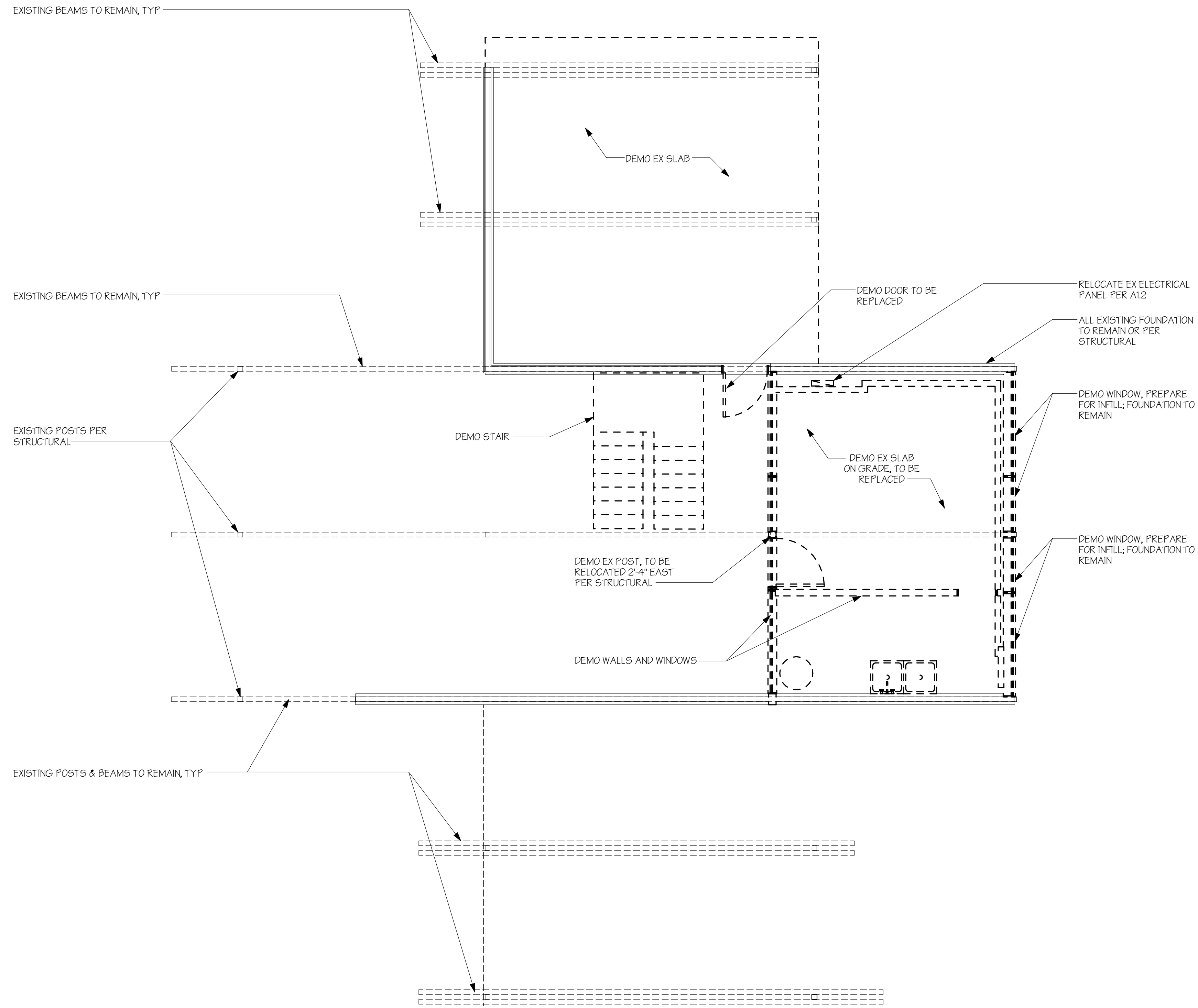
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**PERMIT SET**

IMPERVIOUS SURFACE AND  
HARDSCAPE PLANS





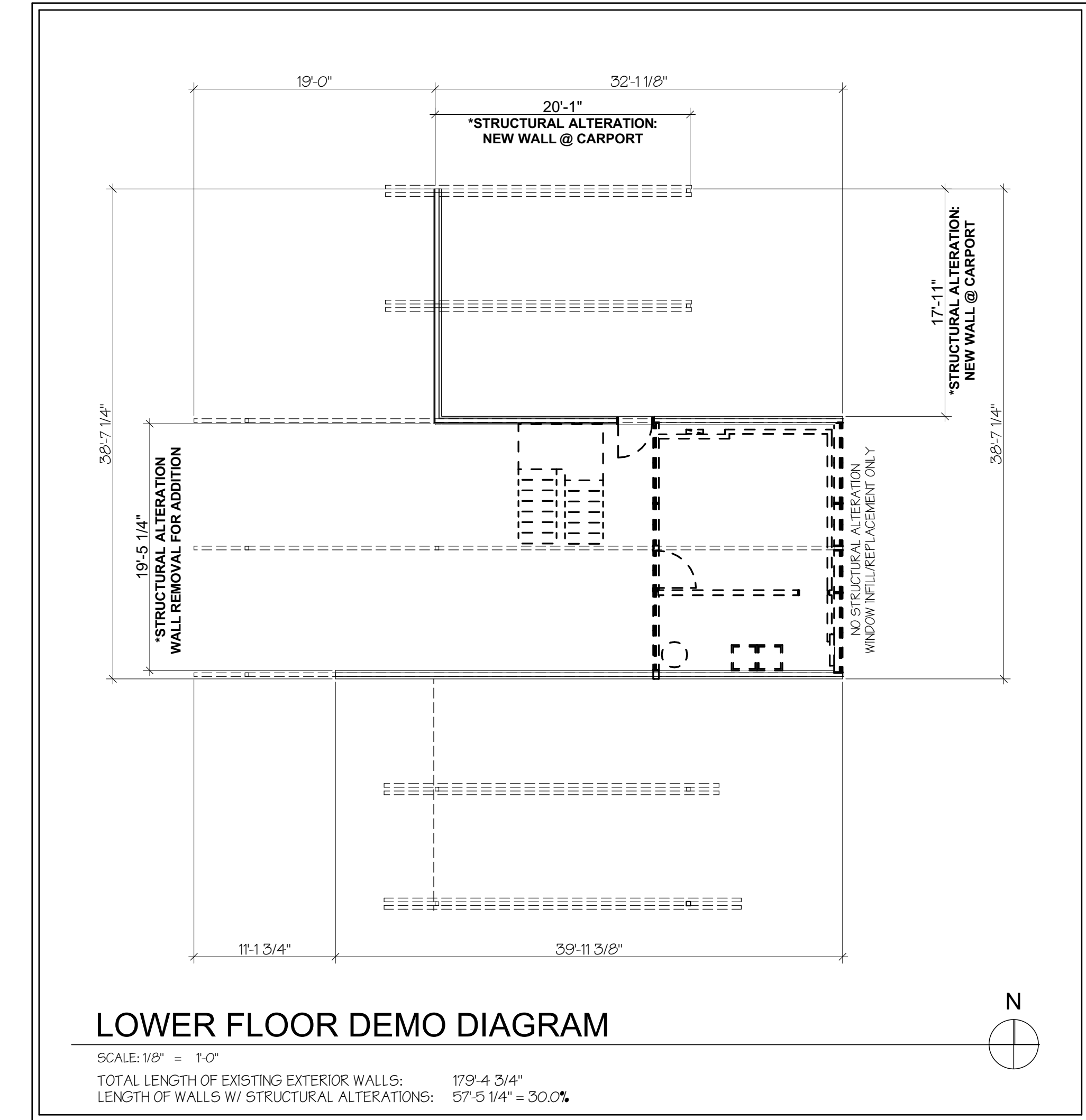
**LOWER FLOOR DEMO PLAN**

SCALE: 1/4" = 1'-0"

EXISTING WALLS  
 DEMO WALLS

NOTES:  
 1. SALVAGE ALL INTERIOR AND EXTERIOR LIGHT FIXTURES  
 2. SALVAGE ALL INTERIOR WOOD PANELLING  
 3. VERIFY ALL SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION

**EXTERIOR WALL STRUCTURAL ALTERATION DIAGRAM - 40% THRESHOLD**



**LOWER FLOOR DEMO DIAGRAM**

SCALE: 1/8" = 1'-0"  
 TOTAL LENGTH OF EXISTING EXTERIOR WALLS: 179'-4 3/4"  
 LENGTH OF WALLS W/ STRUCTURAL ALTERATIONS: 57'-5 1/4" = 30.0%

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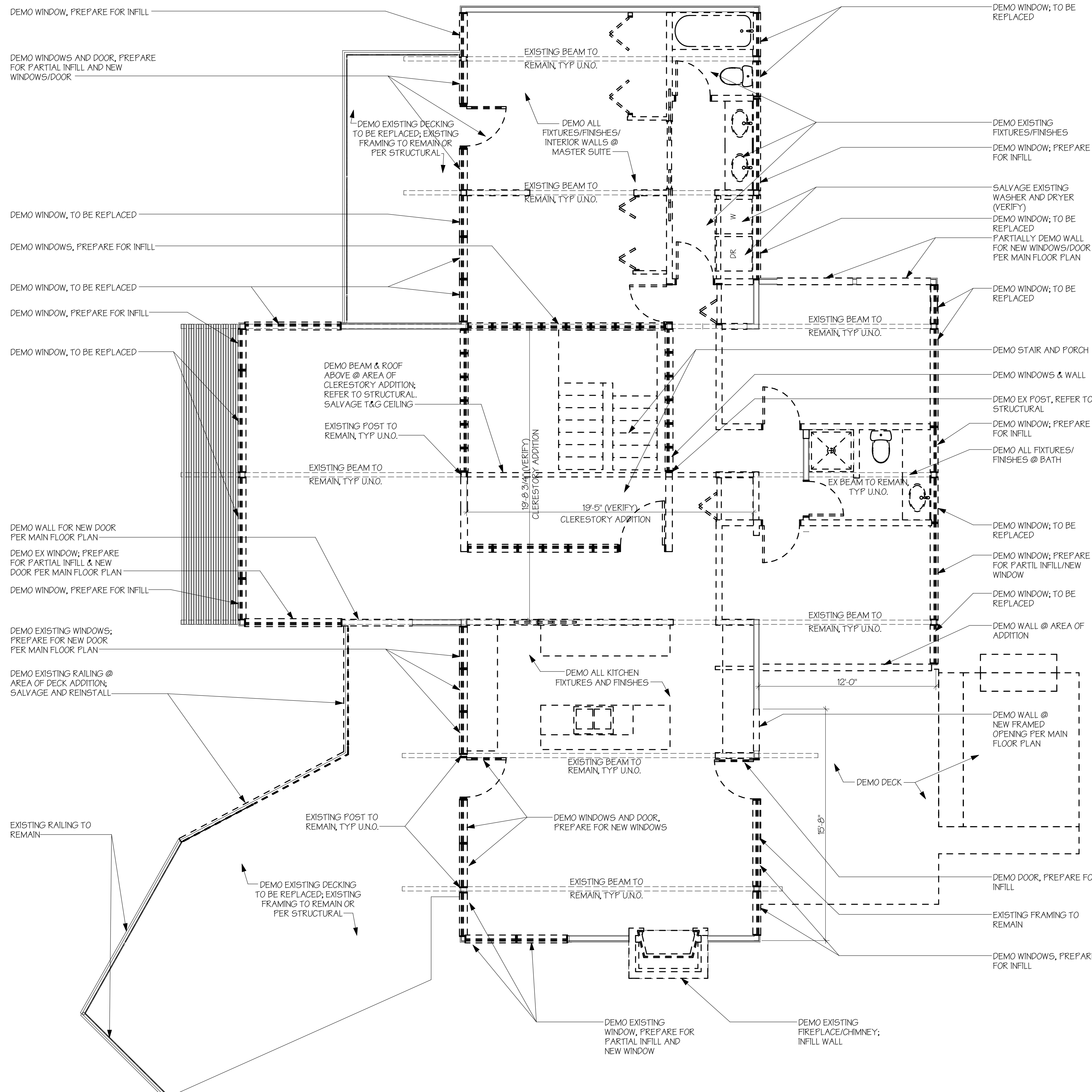
DATE: 07/12/2018  
 REVISED: 12/12/2018

**PERMIT SET**

DEMOLITION PLAN LOWER FLOOR



**A1.0**



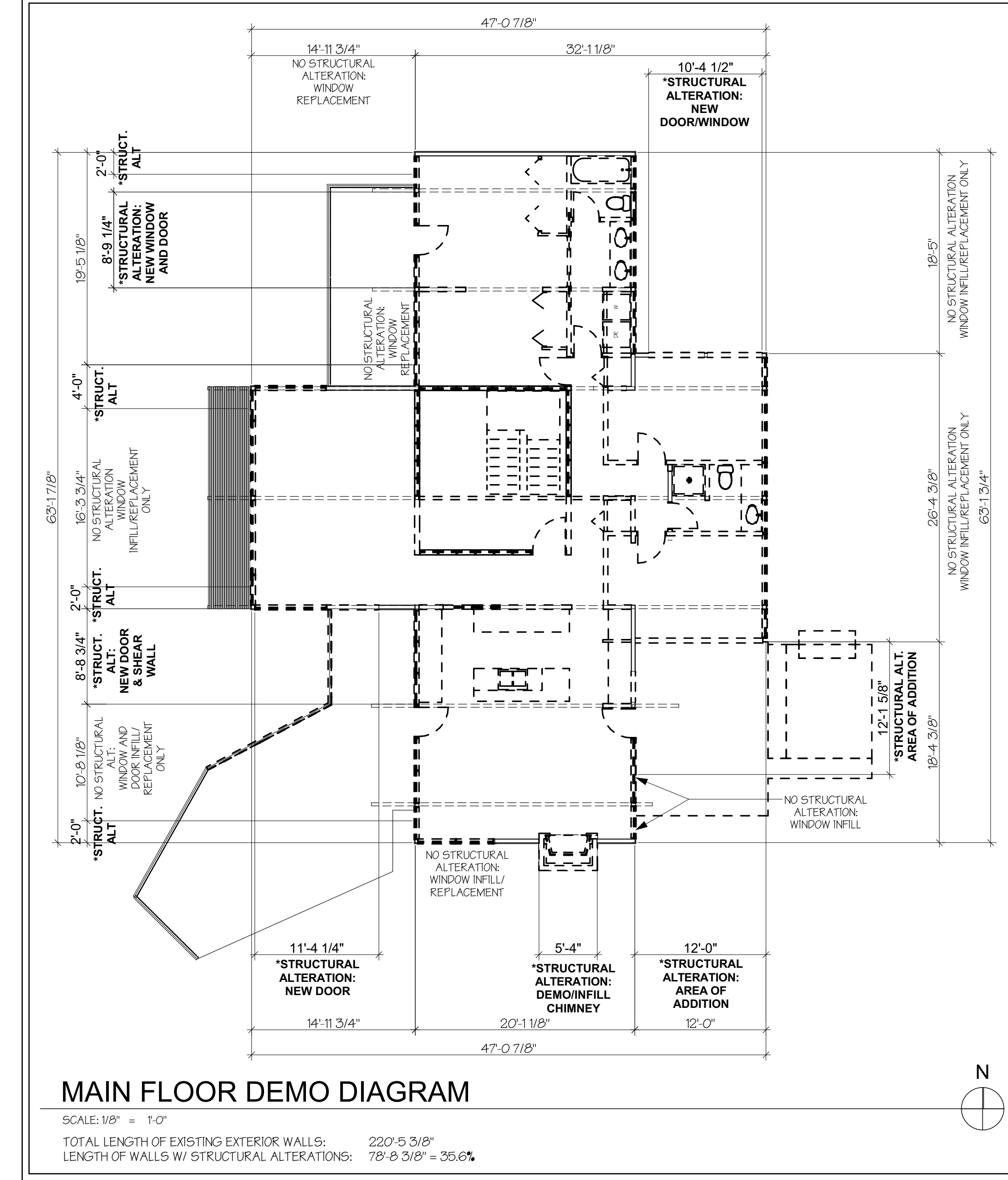
### MAIN FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



- NOTES:  
 1. SALVAGE ALL INTERIOR AND EXTERIOR LIGHT FIXTURES  
 2. SALVAGE ALL INTERIOR WOOD PANNELLING  
 3. VERIFY ALL SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION

### EXTERIOR WALL STRUCTURAL ALTERATION DIAGRAM - 40% THRESHOLD



### MAIN FLOOR DEMO DIAGRAM

SCALE: 1/8" = 1'-0"  
 TOTAL LENGTH OF EXISTING EXTERIOR WALLS: 220'-5 3/8"  
 LENGTH OF WALLS W/ STRUCTURAL ALTERATIONS: 78'-8 3/8" = 35.6%

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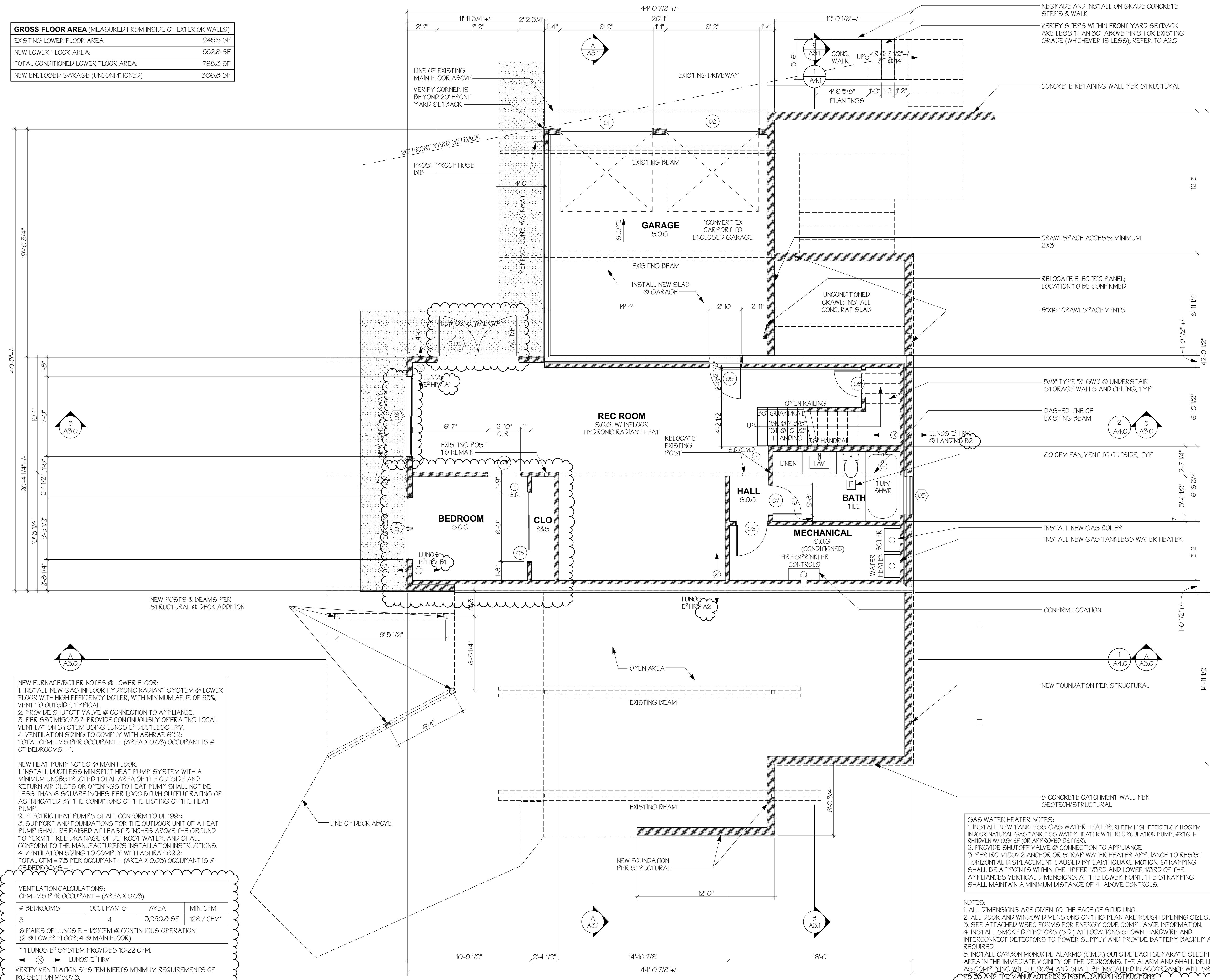
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DEMOLITION PLAN MAIN FLOOR



A1.1

GROSS FLOOR AREA (MEASURED FROM INSIDE OF EXTERIOR WALLS)	
EXISTING LOWER FLOOR AREA	245.5 SF
NEW LOWER FLOOR AREA:	552.8 SF
TOTAL CONDITIONED LOWER FLOOR AREA:	798.3 SF
NEW ENCLOSED GARAGE (UNCONDITIONED)	366.8 SF



**NEW FURNACE/BOILER NOTES @ LOWER FLOOR:**  
 1. INSTALL NEW GAS INFLOOR HYDRONIC RADIANT SYSTEM @ LOWER FLOOR WITH HIGH EFFICIENCY BOILER, WITH MINIMUM AFUE OF 95%, VENT TO OUTSIDE, TYPICAL.  
 2. PROVIDE SHUTOFF VALVE @ CONNECTION TO APPLIANCE.  
 3. PER SRC MISO7.3.7; PROVIDE CONTINUOUSLY OPERATING LOCAL VENTILATION SYSTEM USING LUNOS E<sup>2</sup> DUCTLESS HRV.  
 4. VENTILATION SIZING TO COMPLY WITH ASHRAE 62.2: TOTAL CFM = 7.5 PER OCCUPANT + (AREA X 0.03) OCCUPANT IS # OF BEDROOMS + 1.

**NEW HEAT PUMP NOTES @ MAIN FLOOR:**  
 1. INSTALL DUCTLESS MINI-SPLIT HEAT PUMP SYSTEM WITH A MINIMUM UNOBSTRUCTED TOTAL AREA OF THE OUTSIDE AND RETURN AIR DUCTS OR OPENINGS TO HEAT PUMP SHALL NOT BE LESS THAN 6 SQUARE INCHES PER 1,000 BTUH OUTPUT RATING OR AS INDICATED BY THE CONDITIONS OF THE LISTING OF THE HEAT PUMP.  
 2. ELECTRIC HEAT PUMPS SHALL CONFORM TO UL 1995  
 3. SUPPORT AND FOUNDATIONS FOR THE OUTDOOR UNIT OF A HEAT PUMP SHALL BE RAISED AT LEAST 3 INCHES ABOVE THE GROUND TO PERMIT FREE DRAINAGE OF DEFROST WATER, AND SHALL CONFORM TO THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.  
 4. VENTILATION SIZING TO COMPLY WITH ASHRAE 62.2: TOTAL CFM = 7.5 PER OCCUPANT + (AREA X 0.03) OCCUPANT IS # OF BEDROOMS + 1.

**VENTILATION CALCULATIONS:**  
 CFM = 7.5 PER OCCUPANT + (AREA X 0.03)

# BEDROOMS	OCCUPANTS	AREA	MIN. CFM
3	4	3,290.8 SF	128.7 CFM*

6 PAIRS OF LUNOS E = 132CFM @ CONTINUOUS OPERATION (2 @ LOWER FLOOR; 4 @ MAIN FLOOR)  
 \* 1 LUNOS E<sup>2</sup> SYSTEM PROVIDES 10-22 CFM.

VERIFY VENTILATION SYSTEM MEETS MINIMUM REQUIREMENTS OF IRC SECTION MISO7.3.

**LOWER FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 [Symbol] EXISTING WALLS  
 [Symbol] NEW WALLS

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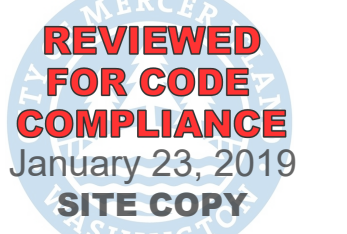
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LOWER FLOOR PLAN

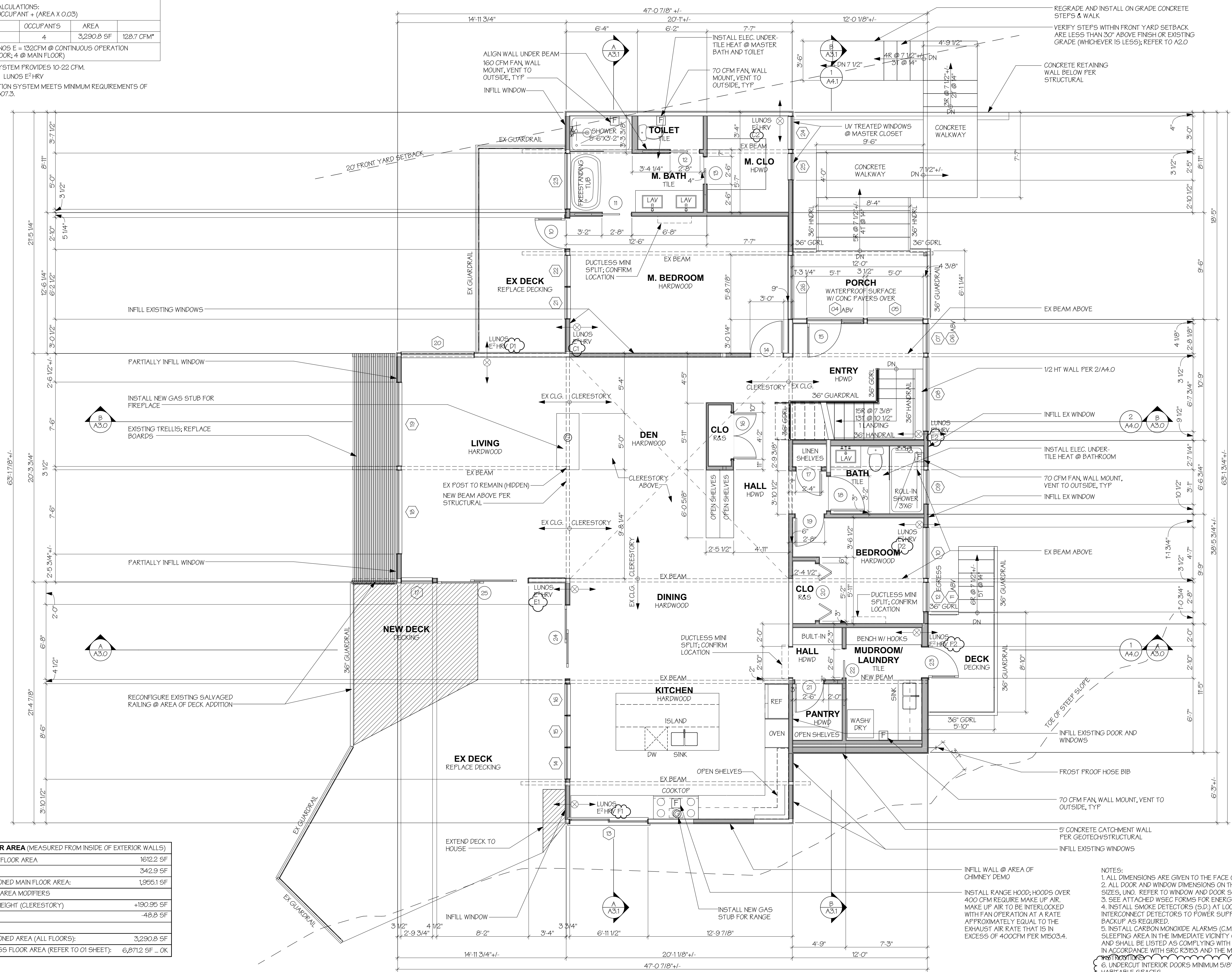


**A1.2**

VENTILATION CALCULATIONS:  
CFM= 7.5 PER OCCUPANT + (AREA X 0.03)

# BEDROOMS	OCCUPANTS	AREA	CFM
3	4	3,290.8 SF	128.7 CFM*

6 PAIRS OF LUNOS E = 132CFM @ CONTINUOUS OPERATION (2 @ LOWER FLOOR; 4 @ MAIN FLOOR)  
 \* 1 LUNOS E<sup>2</sup> SYSTEM PROVIDES 10-22 CFM.  
 LUNOS E<sup>2</sup> HRV  
 VERIFY VENTILATION SYSTEM MEETS MINIMUM REQUIREMENTS OF IRC SECTION M1507.3.



**GROSS FLOOR AREA (MEASURED FROM INSIDE OF EXTERIOR WALLS)**

EXISTING MAIN FLOOR AREA	1612.2 SF
NEW ADDITION:	342.9 SF
TOTAL CONDITIONED MAIN FLOOR AREA:	1,955.1 SF
GROSS FLOOR AREA MODIFIERS	
12'-18" CEILING HEIGHT (CLERESTORY)	+190.95 SF
STAIR CASE	-48.8 SF
TOTAL CONDITIONED AREA (ALL FLOORS):	3,290.8 SF
ALLOWED GROSS FLOOR AREA (REFER TO 01 SHEET):	6,871.2 SF ... OK

**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 EXISTING WALLS  
 NEW WALLS

- NOTES:
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.
  2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.
  3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.
  4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN HARDWIRE AND INTERCONNECT DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY BACKUP AS REQUIRED.
  5. INSTALL CARBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SHALL BE LISTED AS COMPLYING WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE WITH SRC R3153 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  6. UNDERCUT INTERIOR DOORS MINIMUM 5/8" TO PROVIDE AIR FLOW TO ALL HABITABLE SPACES.

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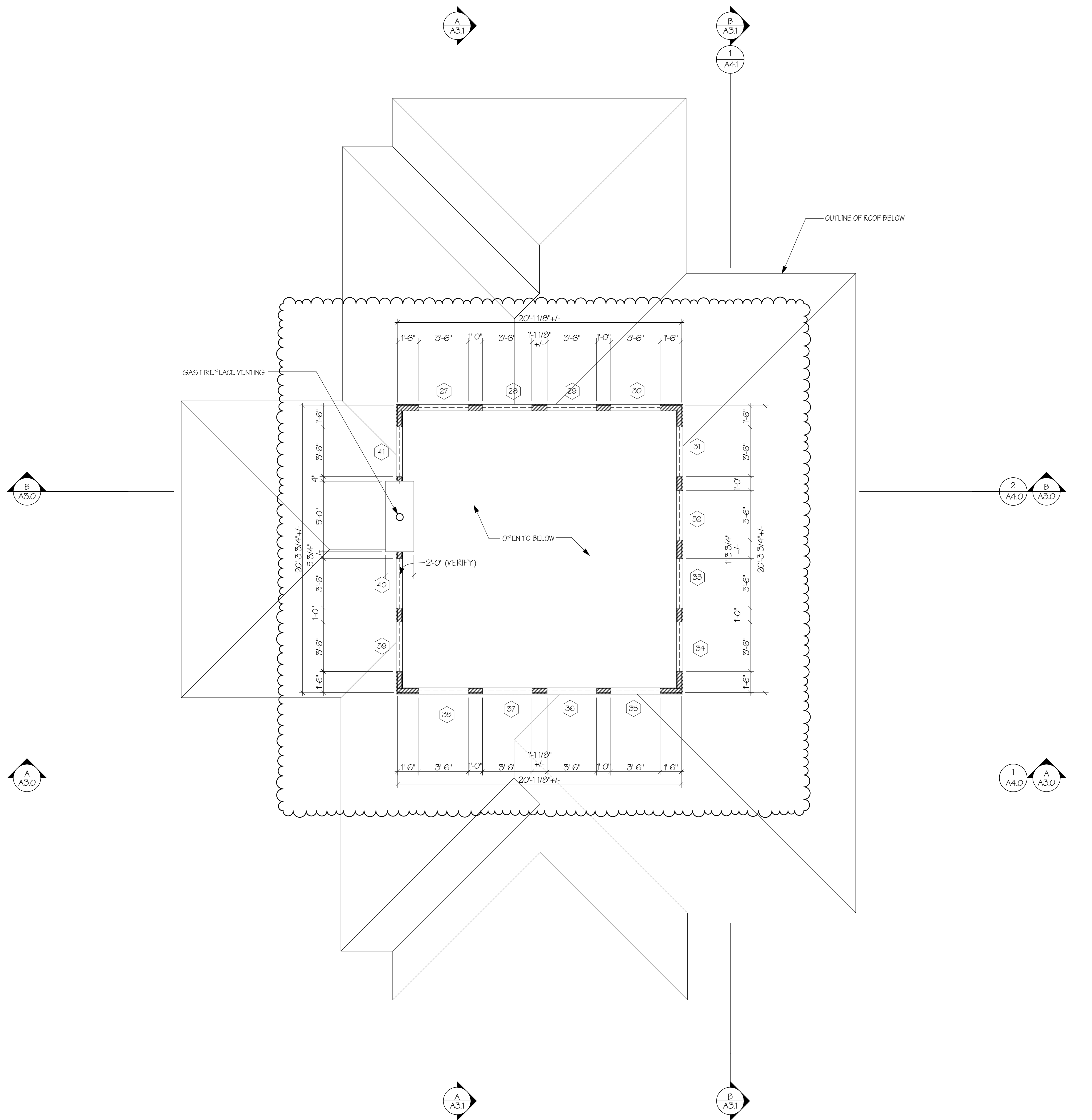
PERMIT SET

MAIN FLOOR PLAN

REVIEWED FOR CODE COMPLIANCE  
 January 23, 2019  
 SITE COPY

A1.3





**CLERESTORY PLAN**

SCALE: 1/4" = 1'-0"

EXISTING WALLS  
NEW WALLS

NOTES:  
1. ALL DIMENSIONS ARE GIVEN TO THE FACE OF STUD UNO.  
2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION.  
3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION.

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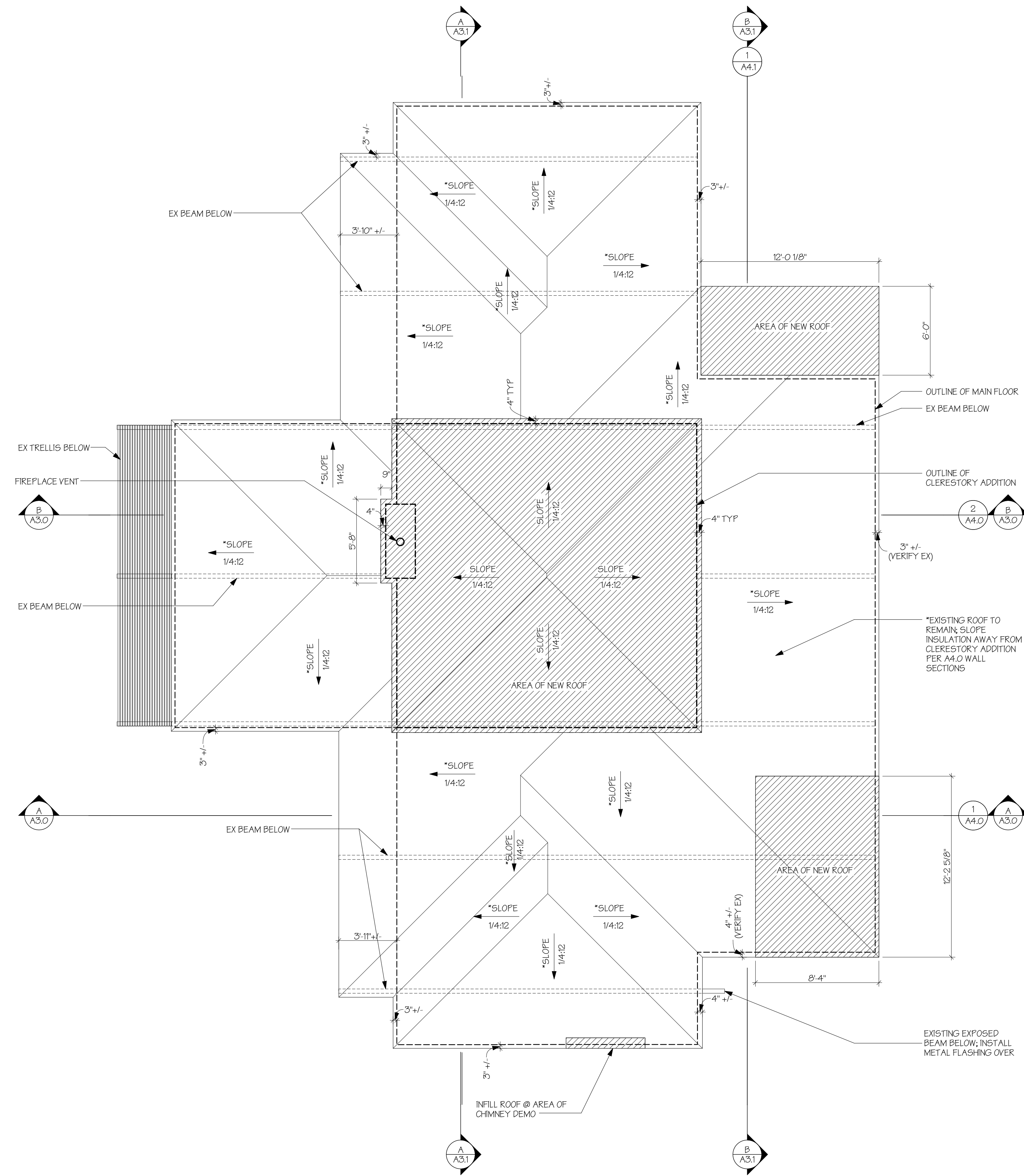
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PERMIT SET

CLERESTORY PLAN

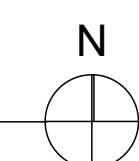


**A1.4**



**ROOF PLAN**

SCALE: 1/4" = 1'-0"  
 [Hatched Box] EXISTING ROOF  
 [Solid Box] NEW ROOF



**PEHA RESIDENCE**  
 7653 W MERCER WAY  
 MERCER ISLAND WA 98040



**H 2 D**  
 ARCHITECTURE  
 +  
 DESIGN

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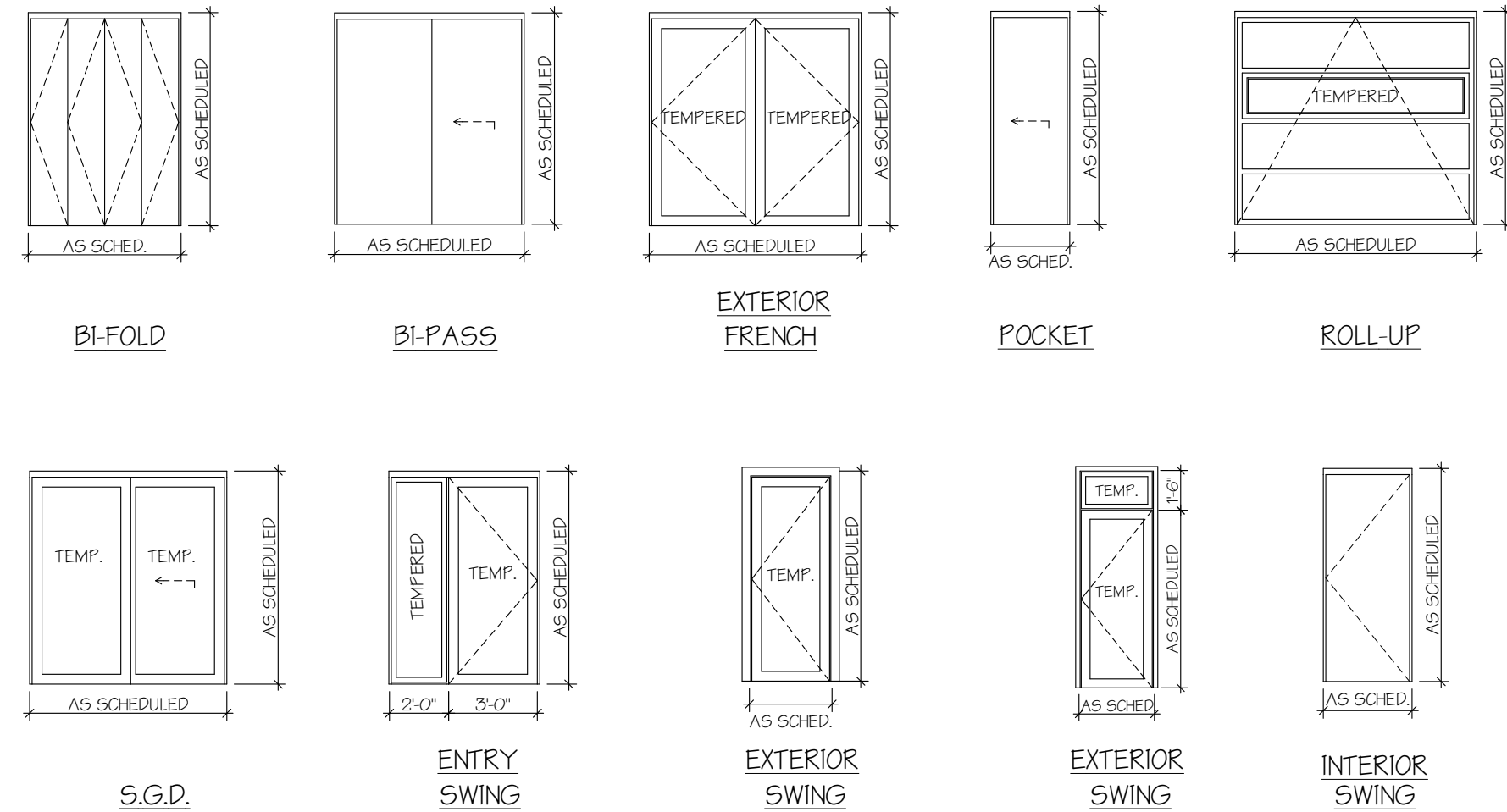


**A1.5**

DOOR SCHEDULE											
	ID	R.O. DIMENSIONS *SEE NOTE 1		DOOR LEAF DIMENSIONS		TYPE	THICK	AREA (SF)	NOTES	U-VAL	
		WIDTH	HEIGHT	W	HT						
LOWER FLOOR											
	01	8'-2"	7'-2 1/2"	8'-0"	7'-0"	ROLL-UP	0-1 3/4"	0.00	GARAGE DOOR, TEMPERED		
	02	8'-2"	7'-2 1/2"	8'-0"	7'-0"	ROLL-UP	0-1 3/4"	0.00	GARAGE DOOR, TEMPERED		
	03	7'-2"	7'-2 1/2"	7'-0"	7'-0"	FRENCH	0-1 3/4"	49.00	TEMPERED; PR 3'-6" DOORS	.20	
	04	3'-0"	6'-10 1/2"	2'-10"	6'-8"	POCKET	0-1 3/8"	0.00			
	05	6'-2"	6'-10 1/2"	6'-0"	6'-8"	BI-PASS	0-1 3/8"	0.00	PR 3'-0" DOORS		
	06	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0-1 3/8"	0.00			
	07	2'-8"	6'-10 1/2"	2'-6"	6'-8"	SWING	0-1 3/8"	0.00			
	08	2'-6"	6'-8 1/2"	2'-4"	6'-6"	SWING	0-1 3/8"	0.00	VERIFY HEAD HEIGHT @ UNDER STAIR		
	09	2'-10"	6'-10 1/2"	2'-8"	6'-8"	SWING	0-1 3/8"	0.00	1 3/8" S.C. 20 MIN RATED DR W/ SELF CLOSER		
MAIN FLOOR											
	10	2'-10"	7'-2 1/2"	2'-8"	7'-0"	SWING	0-1 3/4"	0.00	TEMPERED	.20	
	11	2'-8"	7'-2 1/2"	2'-6"	7'-0"	POCKET	0-1 3/8"	0.00			
	12	2'-8"	7'-2 1/2"	2'-6"	7'-0"	POCKET	0-1 3/8"	0.00			
	13	2'-6"	7'-2 1/2"	2'-4"	7'-0"	POCKET	0-1 3/8"	0.00			
	14	3'-0"	7'-2 1/2"	2'-10"	7'-0"	SWING	0-1 3/8"	0.00			
	15	5'-1 1/4"	7'-2 1/2"	3'-0"	7'-0"	SWING	0-1 3/4"	0.00	ENTRY DOOR W/ 2'-0" SIDELITE; TEMPERED	.20	
	16	4'-2"	7'-2 1/2"	4'-0"	7'-0"	SWING	0-1 3/8"	0.00	(PR) 2'-0 DOORS		
	17	2'-4"	7'-2 1/2"	2'-2"	7'-0"	SWING	0-1 3/8"	0.00			
	18	3'-2"	7'-2 1/2"	3'-0"	7'-0"	SWING	0-1 3/8"	0.00			
	19	2'-8"	7'-2 1/2"	2'-6"	7'-0"	SWING	0-1 3/8"	0.00			
	20	5'-2"	7'-2 1/2"	5'-0"	7'-0"	BI-FOLD	0-1 3/8"	0.00	(PR) 2'-6" DOORS		
	21	2'-8"	7'-2 1/2"	2'-6"	7'-0"	POCKET	0-1 3/8"	0.00			
	22	2'-8"	7'-2 1/2"	2'-6"	7'-0"	POCKET	0-1 3/8"	0.00			
	23	2'-10"	8'-2 1/4"	2'-8"	6'-8"	SWING	0-1 3/4"	22.30	TEMPERED W/ 1'-6" TRANSOM	.20	
	24	6'-8"	7'-2 1/2"	6'-6"	7'-0"	S.G.D.	0-1 3/4"	75.00	TEMPERED	.20	
	25	8'-2"	7'-2 1/2"	8'-0"	7'-0"	S.G.D.	0-1 3/4"	96.00	TEMPERED	.20	
TOTAL EXTERIOR DOOR AREA:								202.30			

MANUFACTURER: INTERIOR: SIMPSON OR EQUAL SOLID CORE FLAT PANEL DOOR  
EXTERIOR: T.B.S.

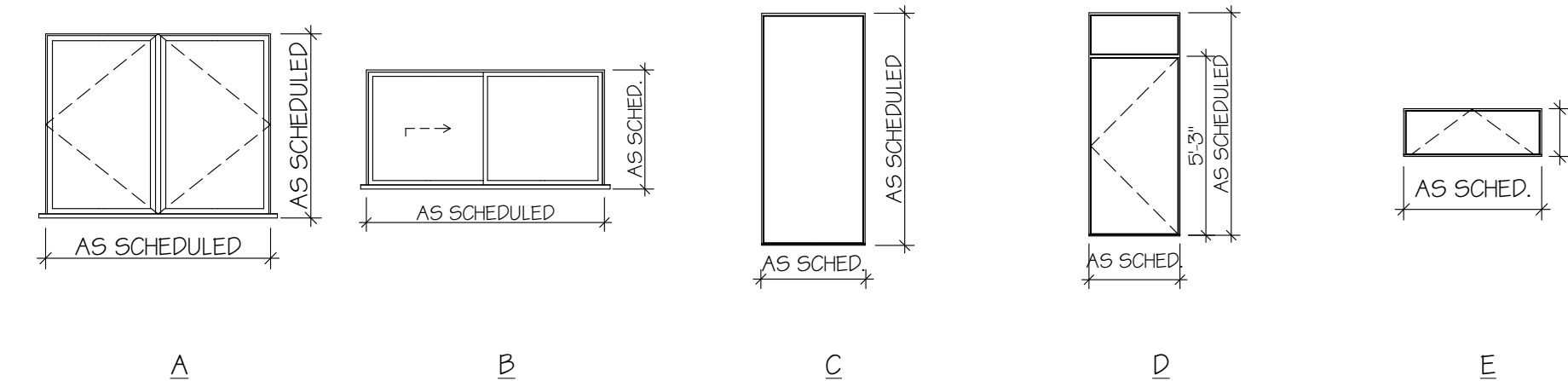
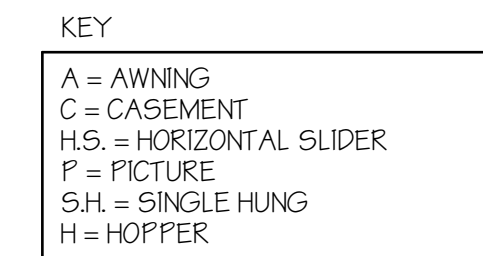
- NOTES:  
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS  
2. SEE ELEVATIONS FOR CONFIGURATION  
3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION  
4. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS



WINDOW SCHEDULE											
	ID	ROUGH OPENING *SEE NOTE 1		ROUGH HEAD FROM SUBFLR.	TYPE	OPER	AREA (SF)	NOTES	U-VAL		
		WIDTH	HEIGHT								
LOWER FLOOR											
	01	5'-6"	4'-6"	7'-2 1/2"	A	C	24.75	FRENCH CASEMENT; EGRESS	.30		
	02	7'-0"	4'-6"	7'-2 1/2"	B	H.S.	31.50		.30		
	03	3'-4 1/2"	1'-2"	8'-5 3/4"	E	A	3.90	VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED, TRANSLUCENT	.30		
MAIN FLOOR											
	04	5'-1"	1'-2 1/2"	8'-6 1/4"	C	F	6.00	DOOR #15 TRANSOM; TEMPERED	.30		
	05	5'-0"	1'-2 1/2"	8'-6 1/4"	C	F	6.00		.30		
	06	2'-8 1/8"	1'-2 1/2"	8'-6 1/4"	C	F	3.20	VERIFY FIT IN EXISTING ROUGH OPENING	.30		
	07	2'-8 1/8"	6'-6 1/4"	7'-3 3/4"	D	C/P	17.40	VERIFY FIT IN EXISTING ROUGH OPENING; TEMPERED	.30		
	08	6'-7 3/4"	1'-2 1/2"	8'-6 1/4"	C	F	8.00	VERIFY FIT IN EXISTING ROUGH OPENING	.30		
	09	3'-1"	1'-2 1/2"	8'-6 1/4"	E	A	3.70	VERIFY FIT IN EXISTING ROUGH OPENING; TEMPERED	.30		
	10	4'-7"	1'-2 1/2"	8'-6 1/4"	C	F	5.50	VERIFY FIT IN EXISTING ROUGH OPENING	.30		
	11	2'-8"	1'-2 1/2"	8'-6 1/4"	C	F	3.20	VERIFY FIT IN EXISTING ROUGH OPENING	.30		
	12	2'-8"	6'-6 1/4"	7'-3 3/4"	D	C/P	17.40	VERIFY FIT IN EXISTING ROUGH OPENING; TEMPERED; EGRESS	.30		
	13	7'-0"	3'-6"	7'-2"	B	H.S.	24.50		.30		
	14	2'-10"	6'-4"	7'-2"	C	F	17.90	TEMPERED	.30		
	15	2'-10"	6'-4"	7'-2"	C	F	17.90	TEMPERED	.30		
	16	2'-10"	6'-4"	7'-2"	C	F	17.90	TEMPERED	.30		
	17	2'-10"	6'-3 1/4"	7'-1"	C	F	17.80	VERIFY FIT IN EXISTING ROUGH OPENING HEIGHT; TEMPERED	.30		
	18	7'-6"	6'-3 1/2"	7'-1"	C	F	43.50	VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED	.30		
	19	7'-6"	6'-3 1/2"	7'-1"	C	F	43.60	VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED	.30		
	20	6'-6 3/8"	6'-3 1/2"	7'-1"	C	F	41.10	VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED	.30		
	21	2'-10 1/2"	6'-3 3/4"	7'-1 1/2"	C	F	18.30	VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED	.30		
	22	2'-10"	6'-3 3/4"	7'-1 1/2"	C	F	18.30	VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED	.30		
	23	5'-0"	3'-4"	7'-1 1/2"	C	F	16.70	TRANSLUCENT	.30		
	24	3'-0"	1'-2 1/2"	8'-6 1/4"	C	F	3.60	VERIFY FIT IN EXISTING ROUGH OPENING; W/ UV PROTECTION COATING	.24		
	25	2'-5"	1'-2 1/2"	8'-6 1/4"	C	F	2.90	VERIFY FIT IN EXISTING ROUGH OPENING; W/ UV PROTECTION COATING	.24		
	26	5'-9"	1'-2 1/2"	8'-6 1/4"	C	F	6.90	VERIFY FIT IN EXISTING ROUGH OPENING	.30		
CLERESTORY											
	27	3'-6"	1'-4"	3'-5 1/4"	C	F	4.70		.30		
	28	3'-6"	1'-4"	3'-5 1/4"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	29	3'-6"	1'-4"	3'-5 1/2"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	30	3'-6"	1'-4"	3'-5 1/2"	C	F	4.70		.30		
	31	3'-6"	1'-4"	3'-5 1/4"	C	F	4.70		.30		
	32	3'-6"	1'-4"	3'-5 1/4"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	33	3'-6"	1'-4"	3'-5 1/4"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	34	3'-6"	1'-4"	3'-5 1/4"	C	F	4.70		.30		
	35	3'-6"	1'-4"	3'-5 1/4"	C	F	4.70		.30		
	36	3'-6"	1'-4"	3'-5 1/4"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	37	3'-6"	1'-4"	3'-5 1/4"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	38	3'-6"	1'-4"	3'-5 1/4"	C	F	4.70		.30		
	39	3'-6"	1'-4"	3'-5 1/2"	C	F	4.70		.30		
	40	3'-6"	1'-4"	3'-5 1/2"	E	A	4.70	REMOTE OPERABLE WINDOW	.30		
	41	3'-6"	1'-4"	3'-5 1/2"	C	F	4.70		.30		
TOTAL EXTERIOR WINDOW AREA:							495.85				

MANUFACTURER: T.B.S.  
SERIES: T.B.S.

- NOTES:  
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS  
2. SEE ELEVATIONS FOR CONFIGURATION  
3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION  
4. VERIFY EXISTING ROUGH OPENINGS WHERE WINDOWS ARE BEING REPLACED IN THE EXISTING OPENINGS PRIOR TO ORDERING THE WINDOWS  
5. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS  
6. TRANSLUCENT GLASS TO BE SATIN ETCH. PROVIDE GLASS SAMPLE TO OWNER/ARCH FOR APPROVAL PRIOR TO ORDERING



PEHA RESIDENCE  
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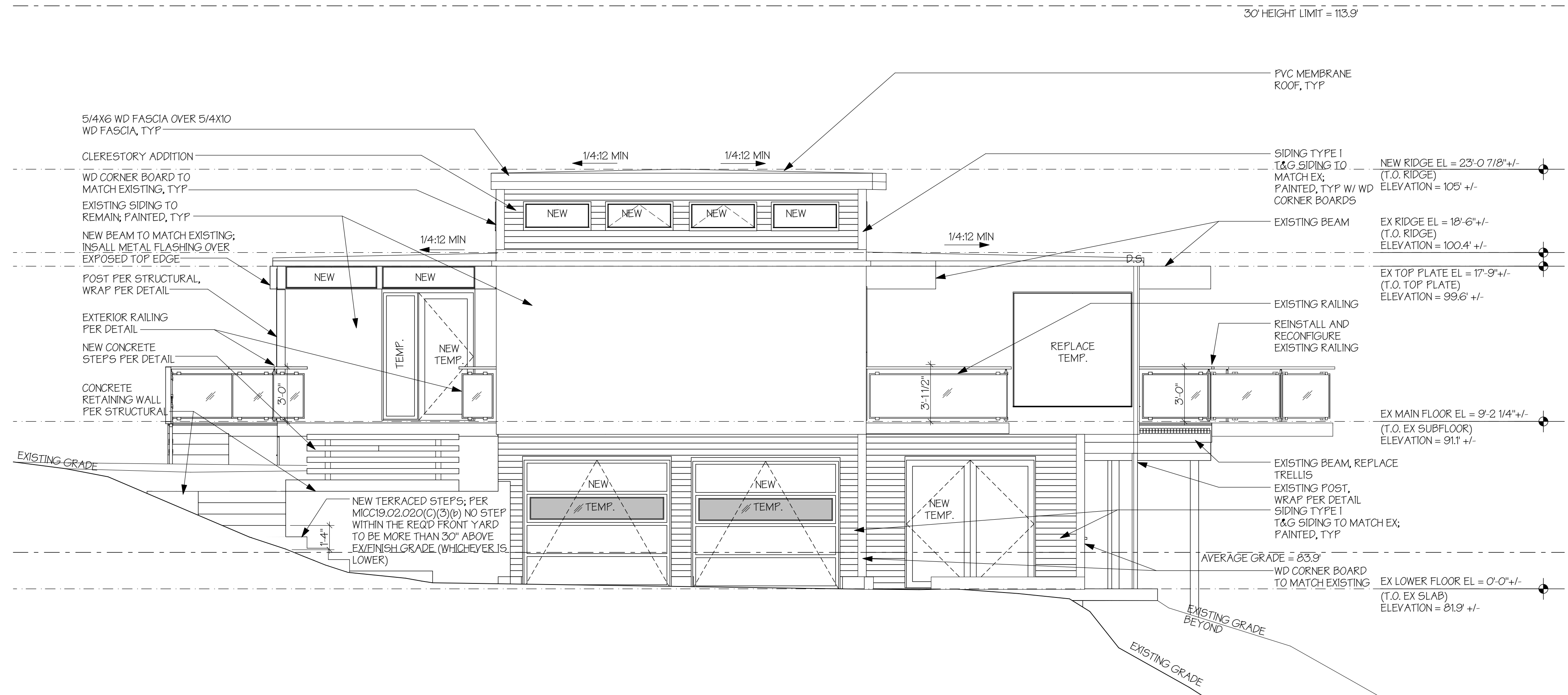
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WINDOW AND DOOR  
SCHEDULES



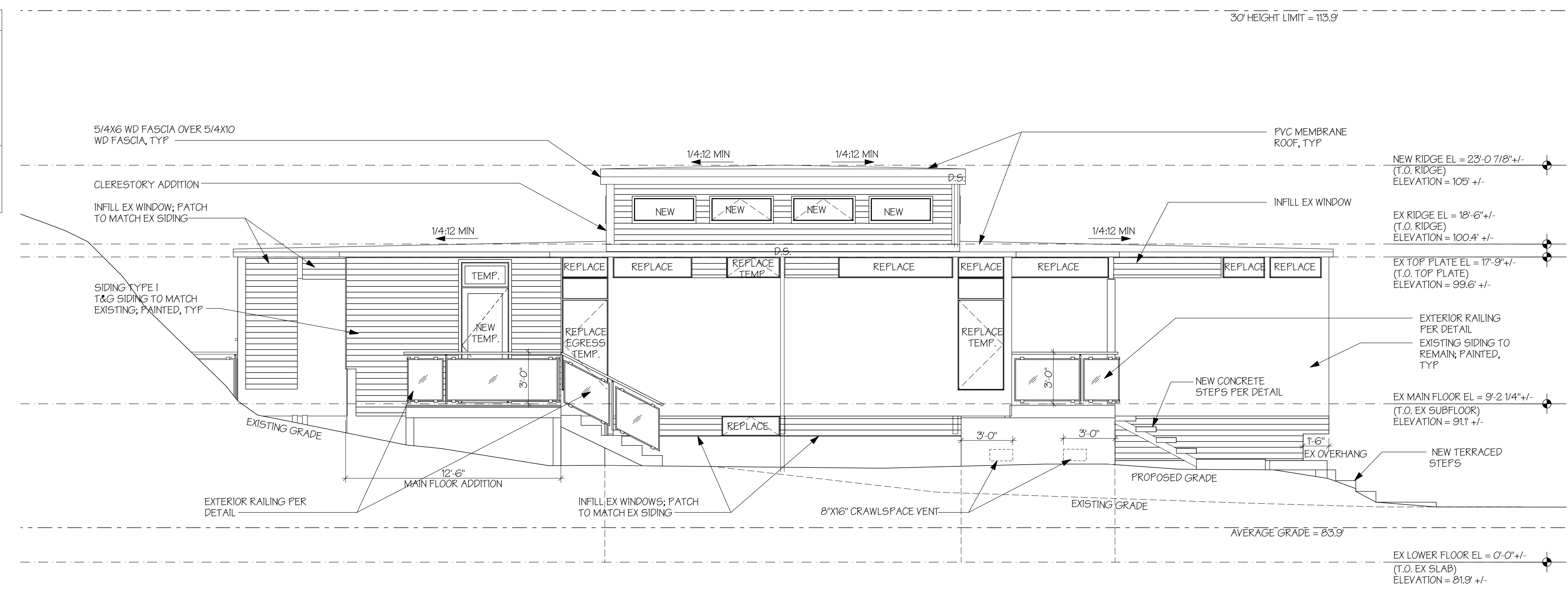
A1.6



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

VENTILATION REQUIREMENTS
CRAWLSPACE: MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 100 SQUARE FEET OF UNDER-FLOOR AREA, UNLESS THE GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL. WHEN CLASS 1 VAPOR RETARDER IS USED, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS.
TOTAL NEW CRAWLSPACE AREA = 93.8 SF REQUIRED VENTILATION AREA W/ CLASS 1 VAPOR RETARDER MATERIAL ON GROUND SURFACE = 82 SF MIN
(QTY 2) CORNER CRAWLSPACE VENTS @ 8"x16" = 86 SF



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

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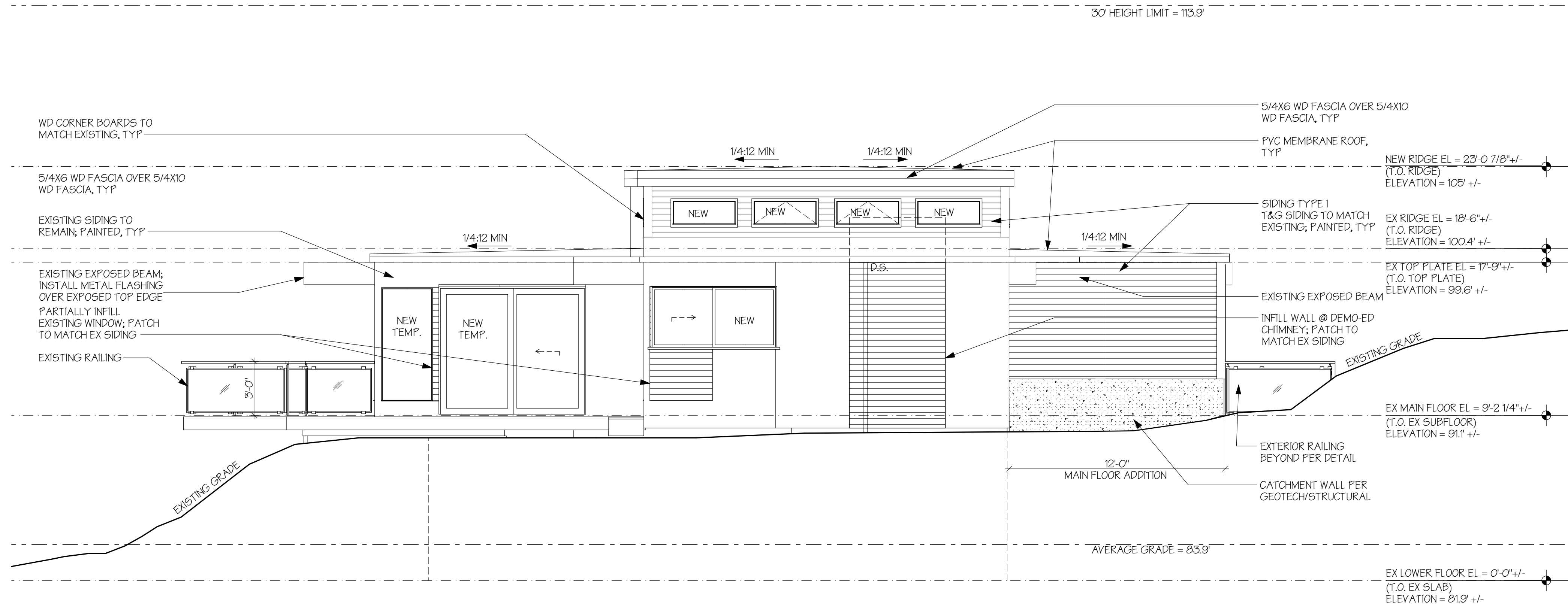
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EXTERIOR ELEVATIONS

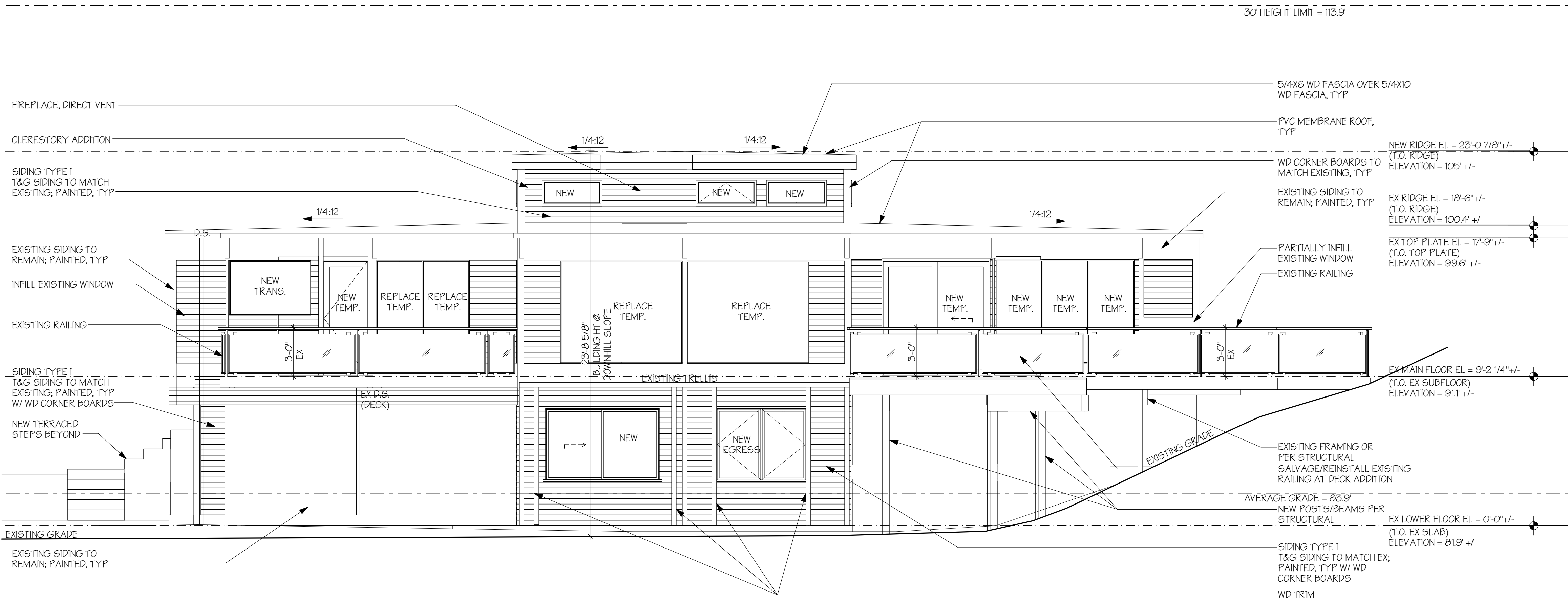


**A2.0**



**SOUTH ELEVATION**

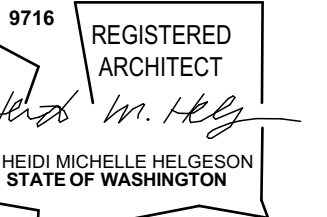
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**PEHA RESIDENCE**  
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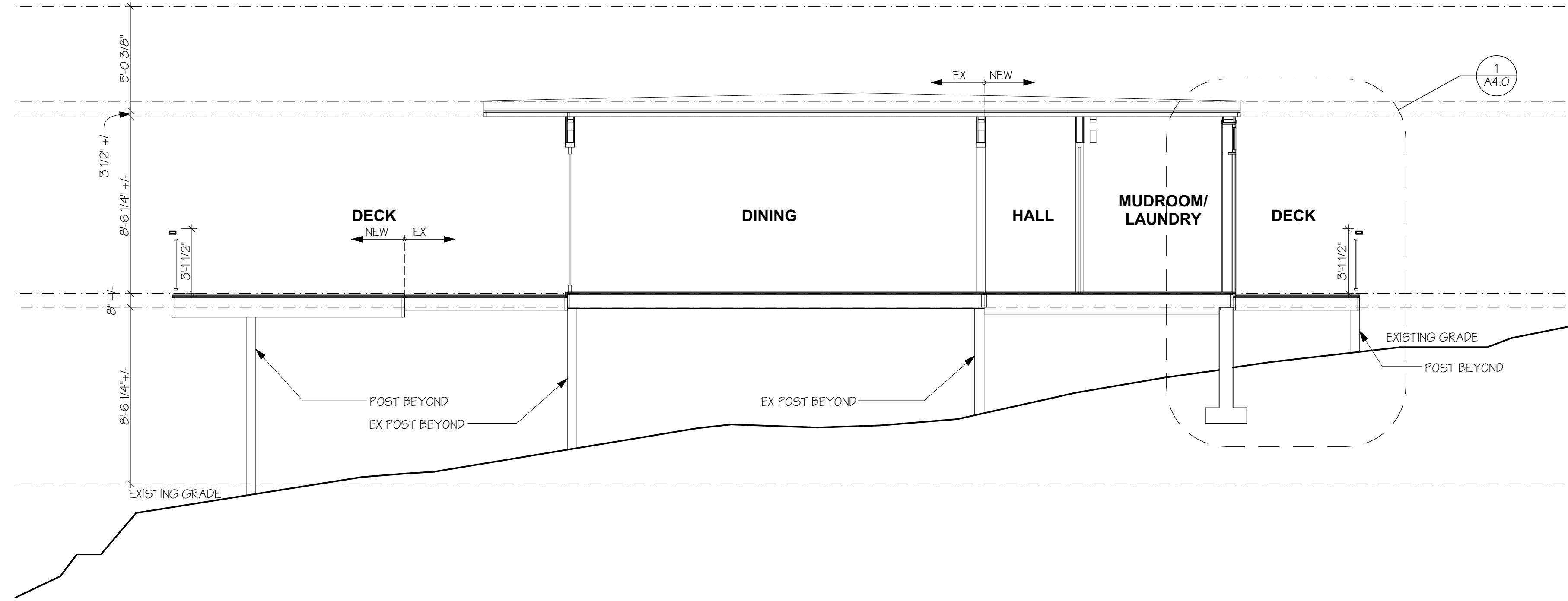
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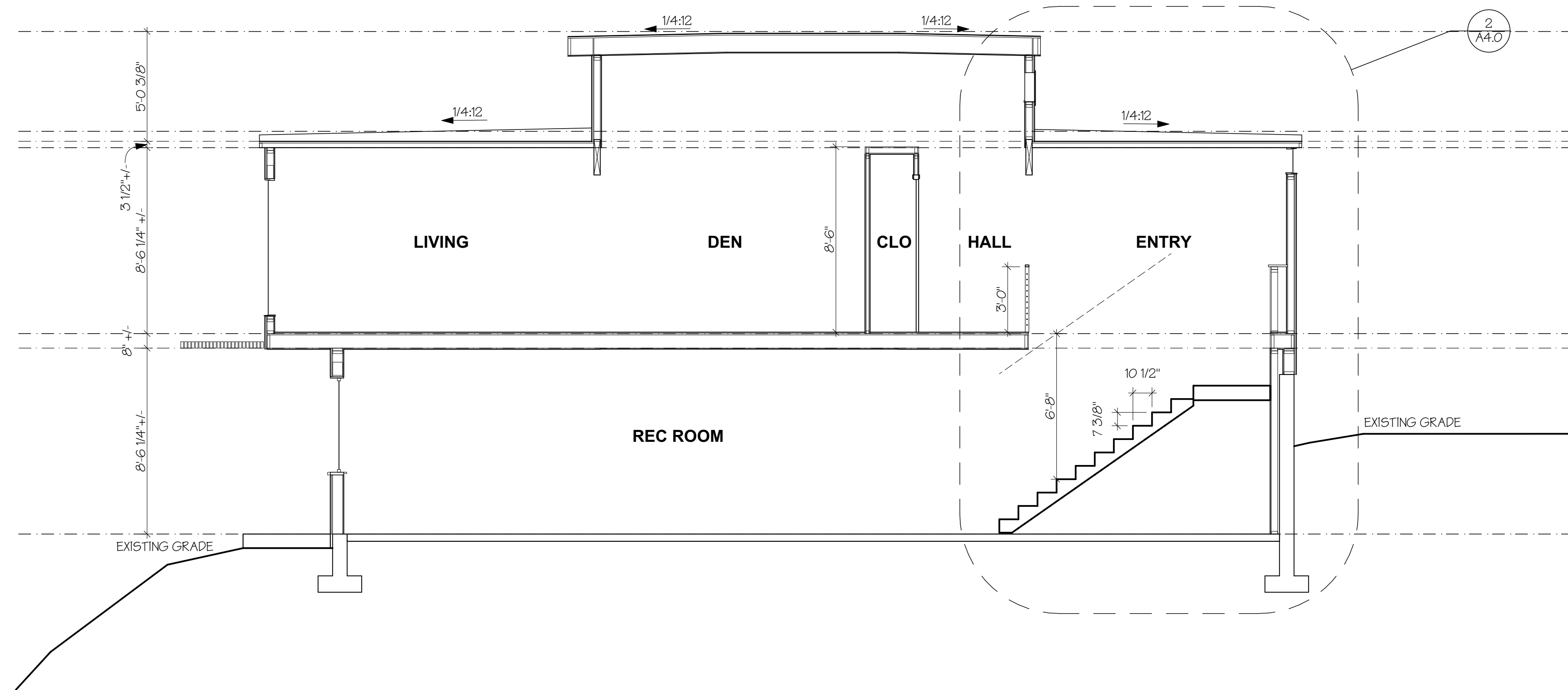
EXTERIOR ELEVATIONS



**A2.1**



**A** BUILDING SECTION  
SCALE: 1/4" = 1'-0"



**B** BUILDING SECTION  
SCALE: 1/4" = 1'-0"

PEHA RESIDENCE  
7653 W MERCER WAY  
MERCER ISLAND WA 98040

9716 REGISTERED ARCHITECT  
*Heidi M. Kelly*  
HEIDI MICHELLE HELGESON  
STATE OF WASHINGTON



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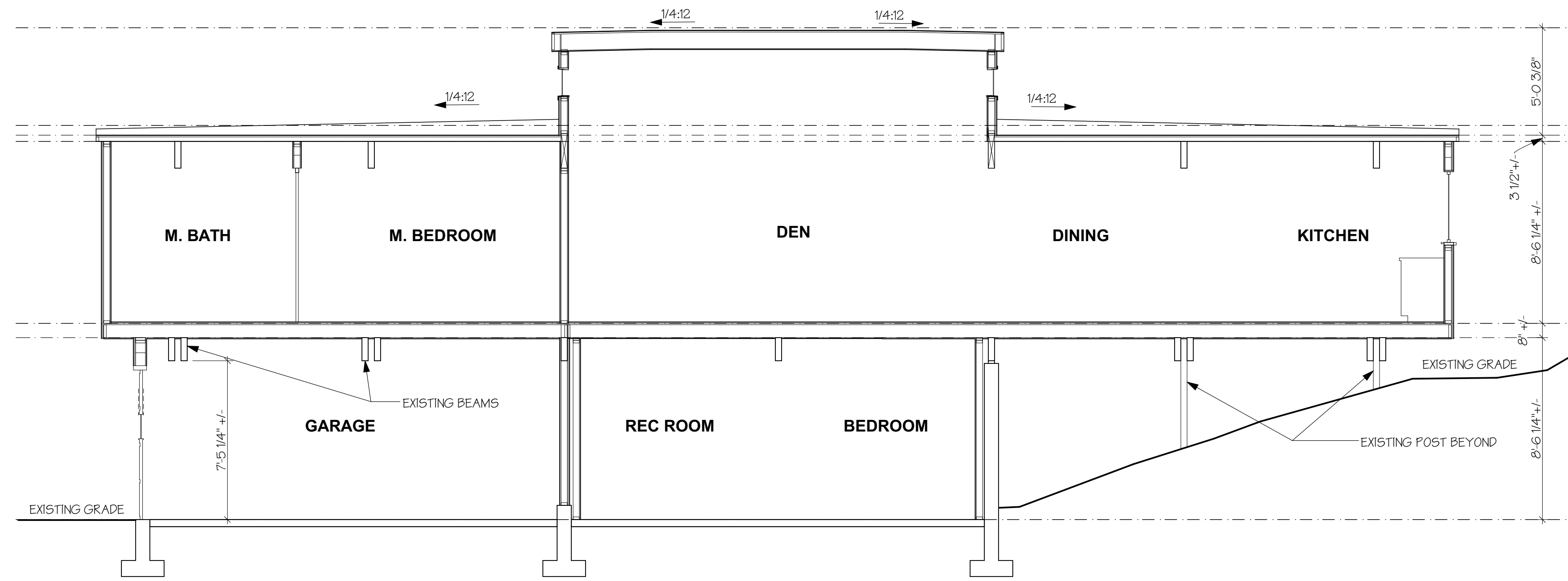
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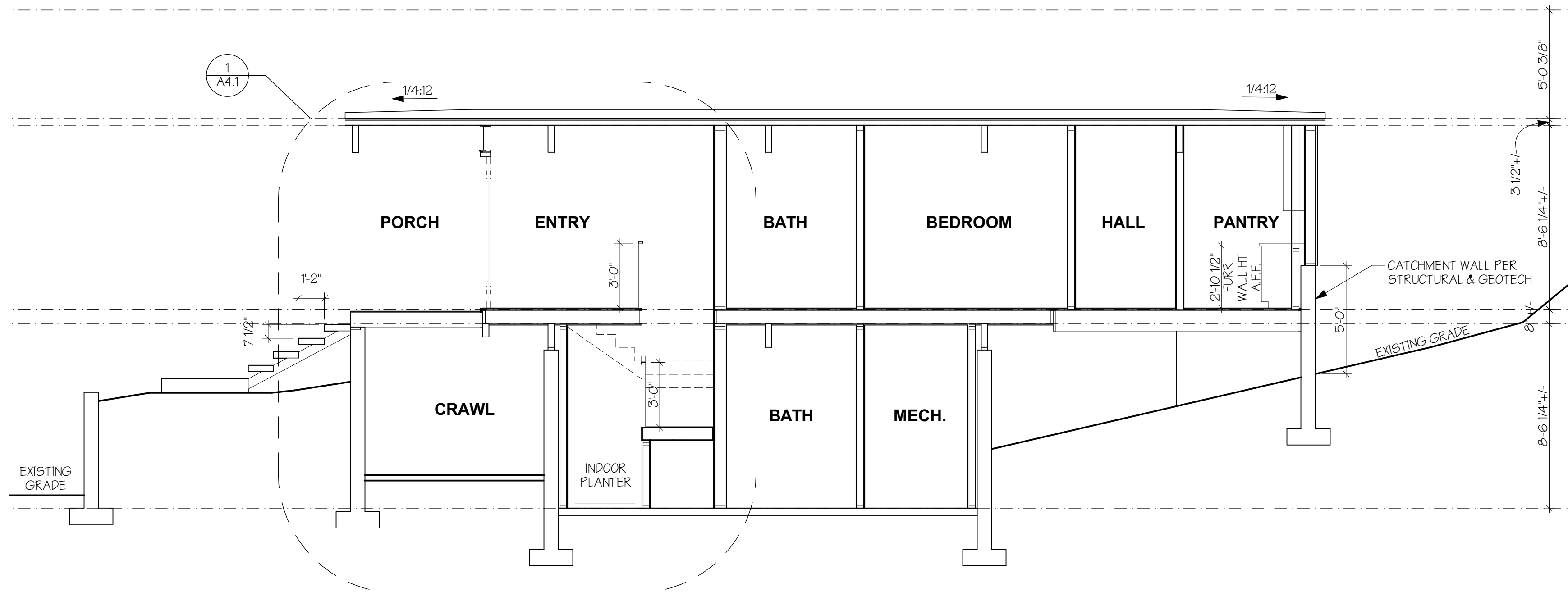
BUILDING SECTIONS

MERCER ISLAND  
**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
SITE COPY

A3.0



**A** BUILDING SECTION  
SCALE: 1/4" = 1'-0"



**B** BUILDING SECTION  
SCALE: 1/4" = 1'-0"

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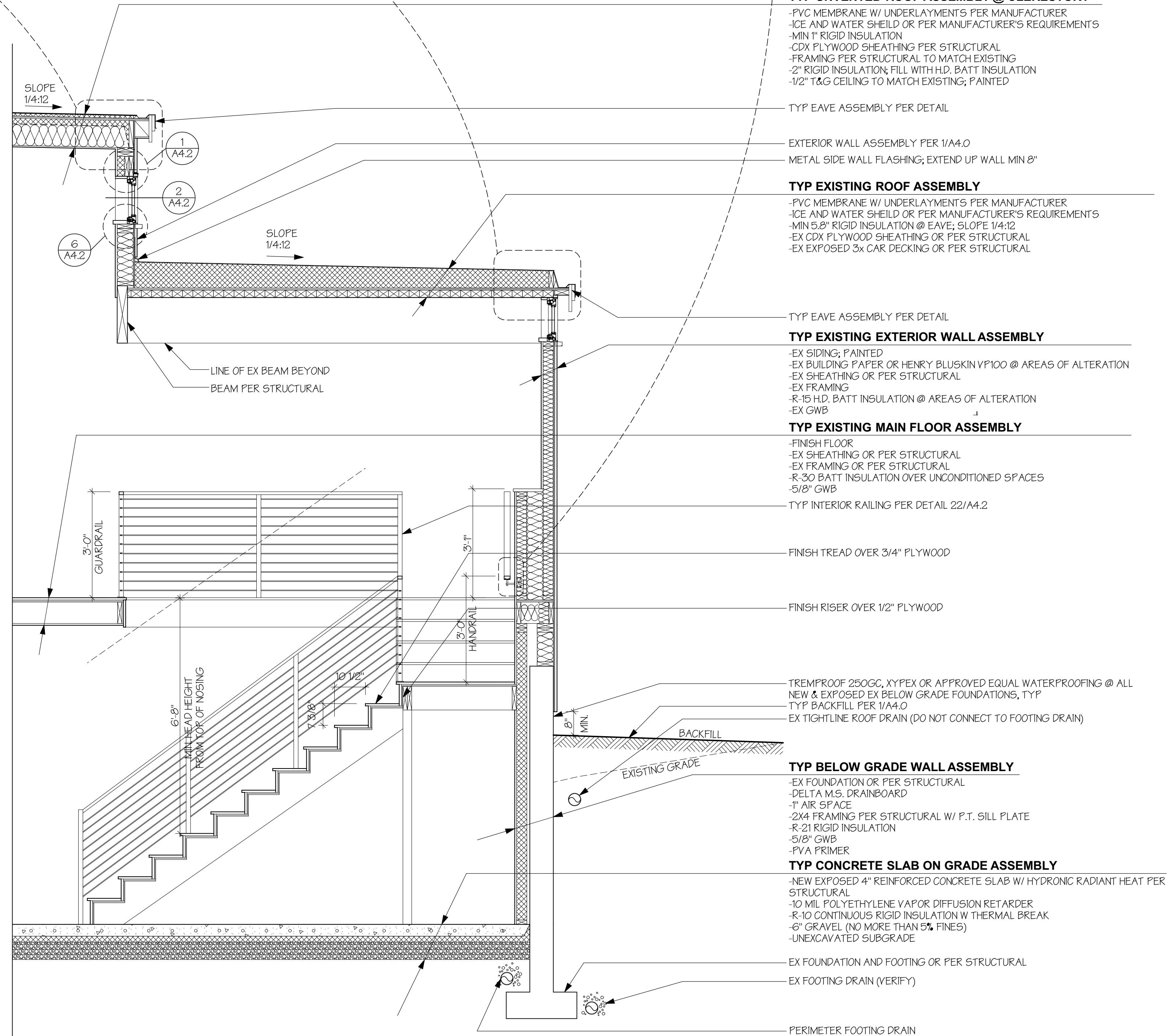
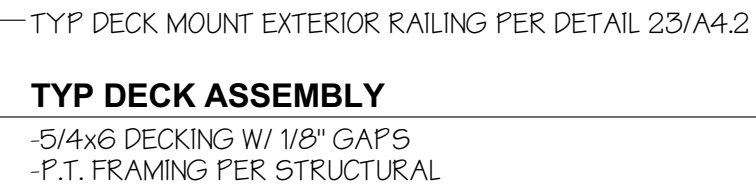
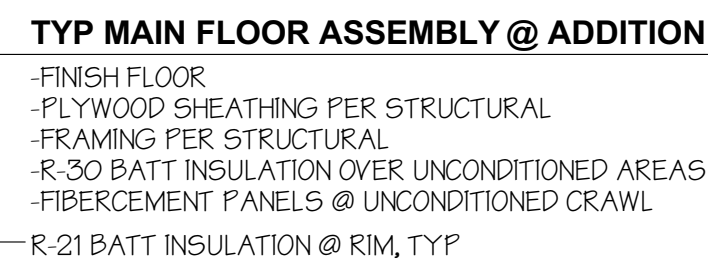
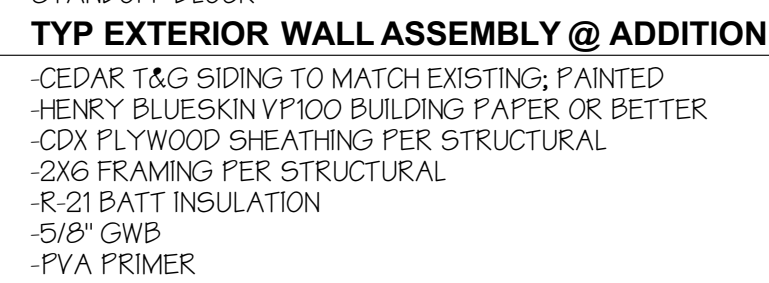
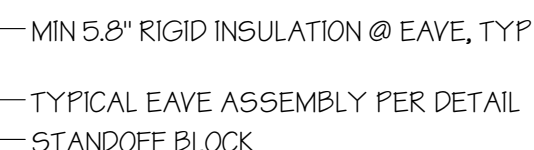
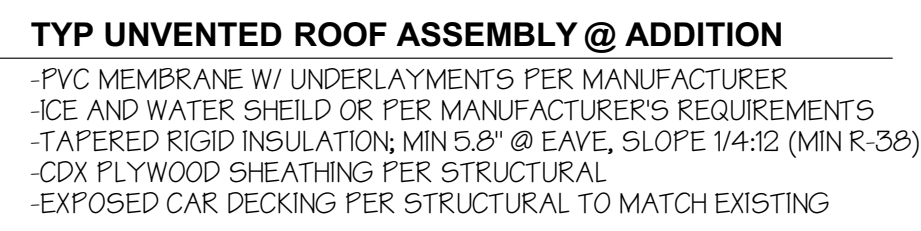
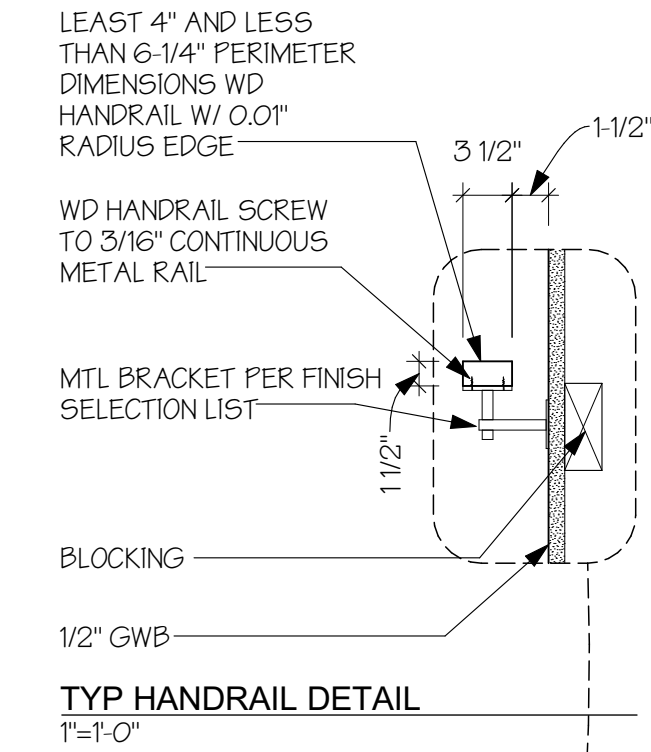
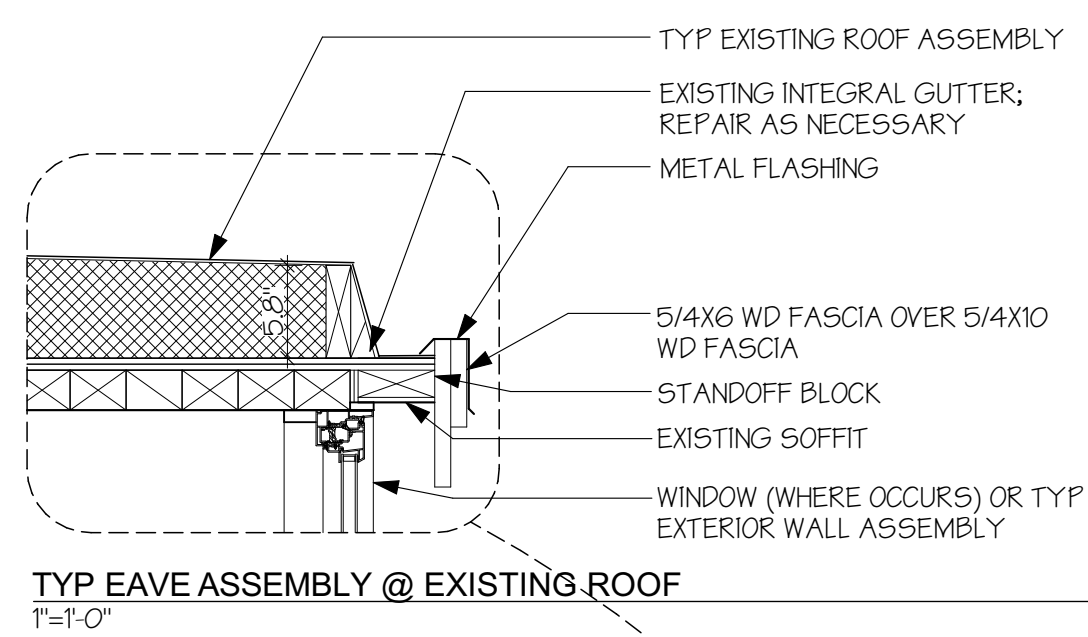
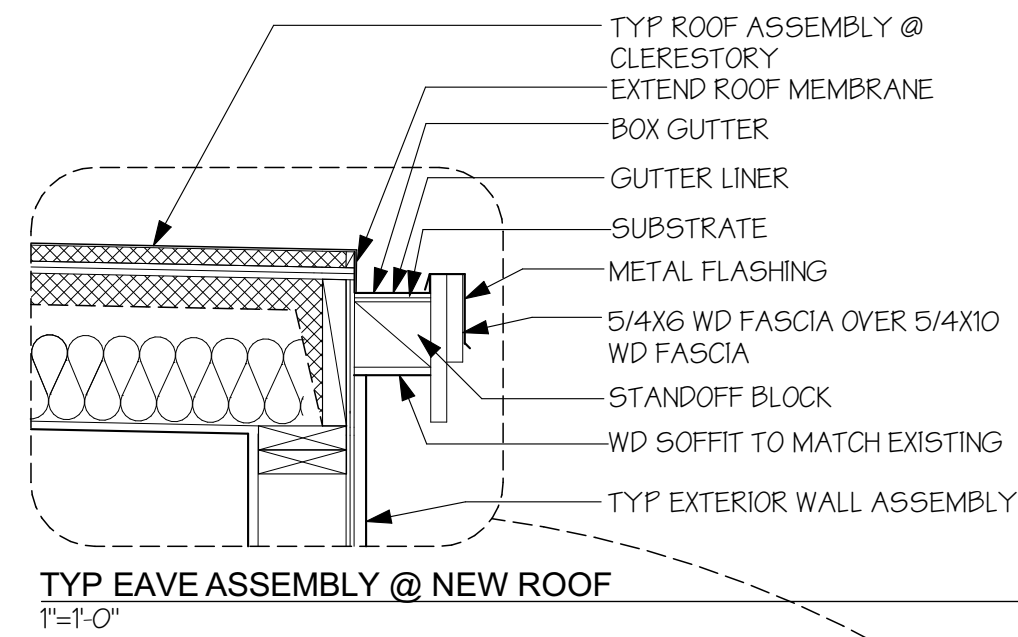
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BUILDING SECTIONS



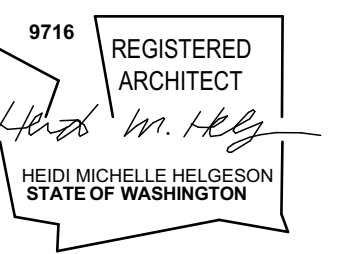
A3.1



**1 WALL SECTION**  
SCALE: 1/2" = 1'-0"

**2 WALL SECTION**  
SCALE: 1/2" = 1'-0"

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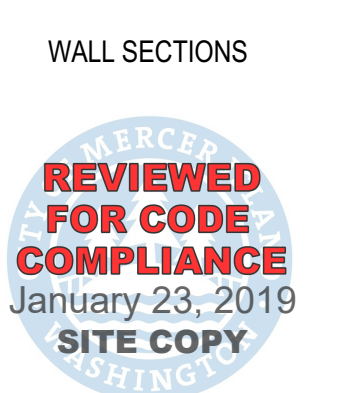


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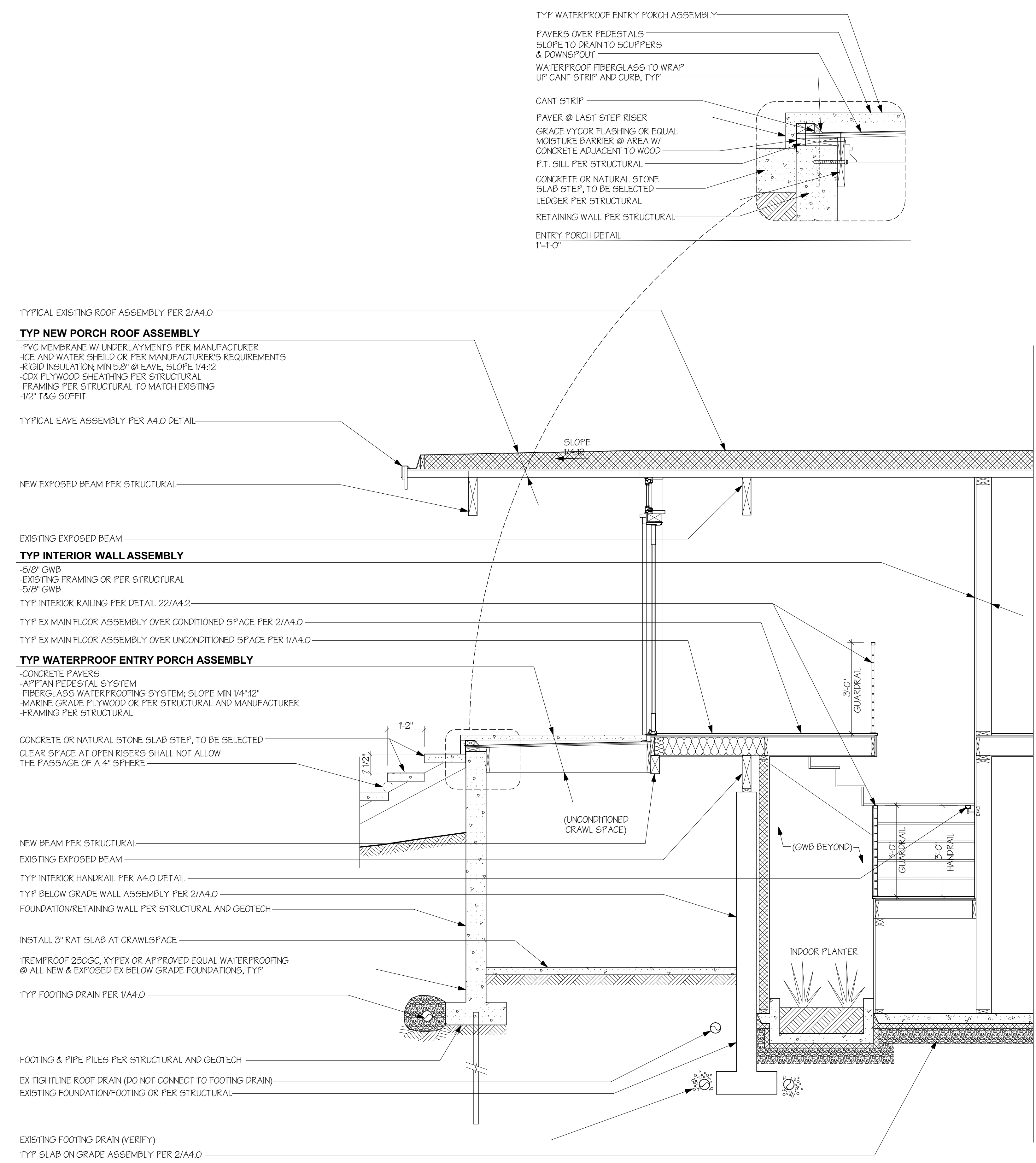
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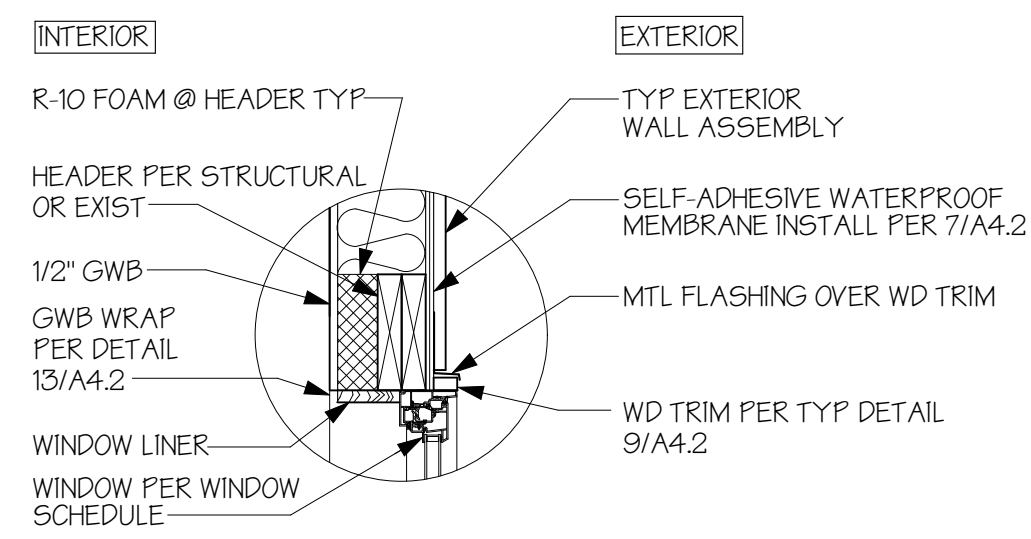
WALL SECTIONS



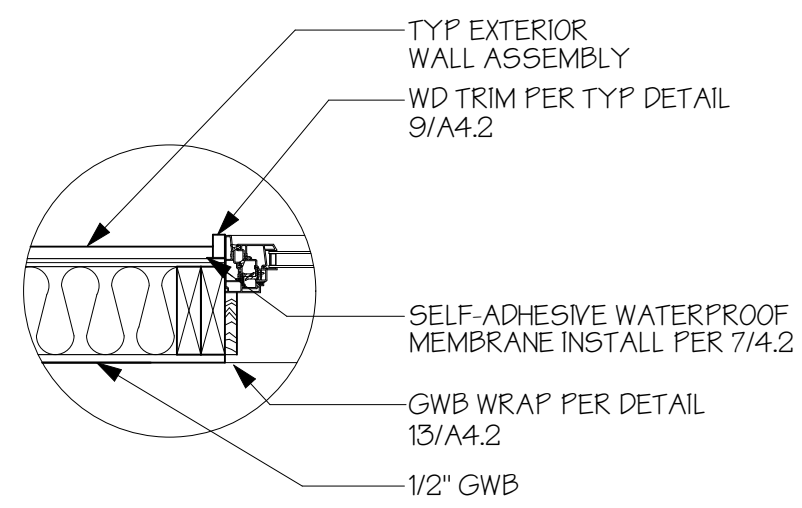
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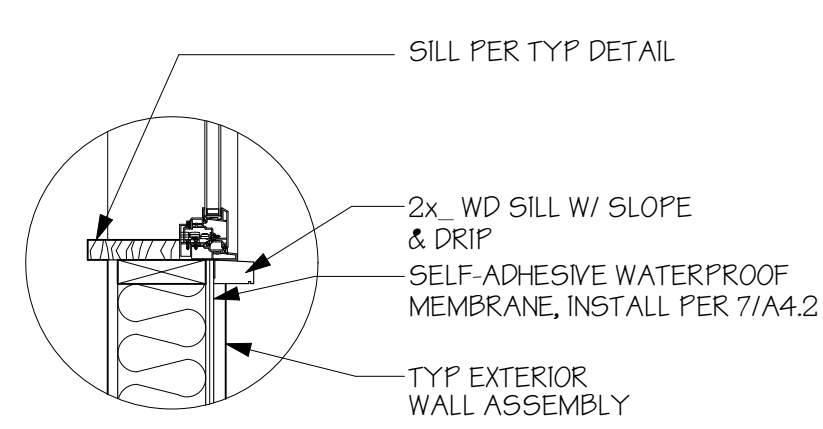
1 WALL SECTION  
 SCALE: 1/2" = 1'-0"



**1 TYP WINDOW HEAD**  
1" = 1'-0"

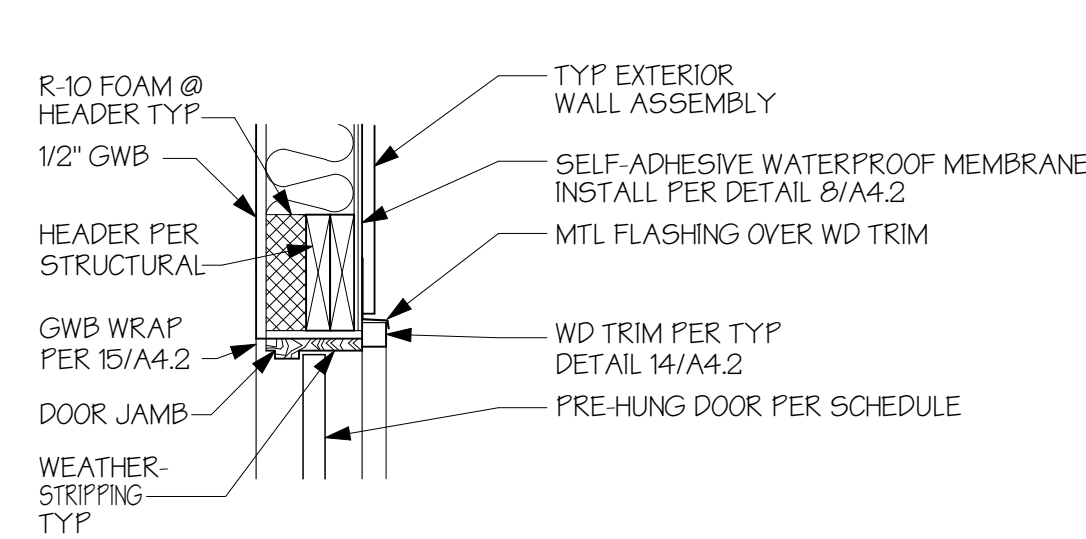


**2 TYP WINDOW JAMB**  
1" = 1'-0"

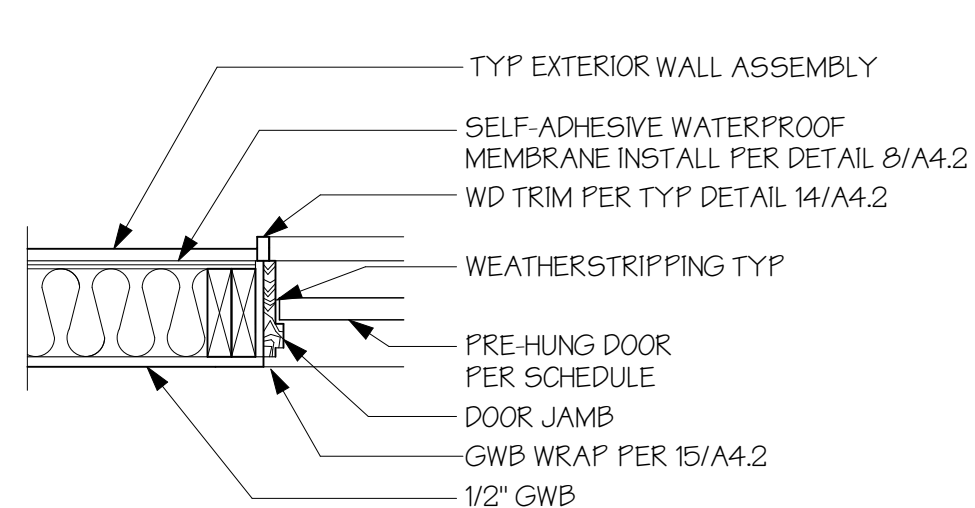


**3 TYP WINDOW SILL**  
1" = 1'-0"

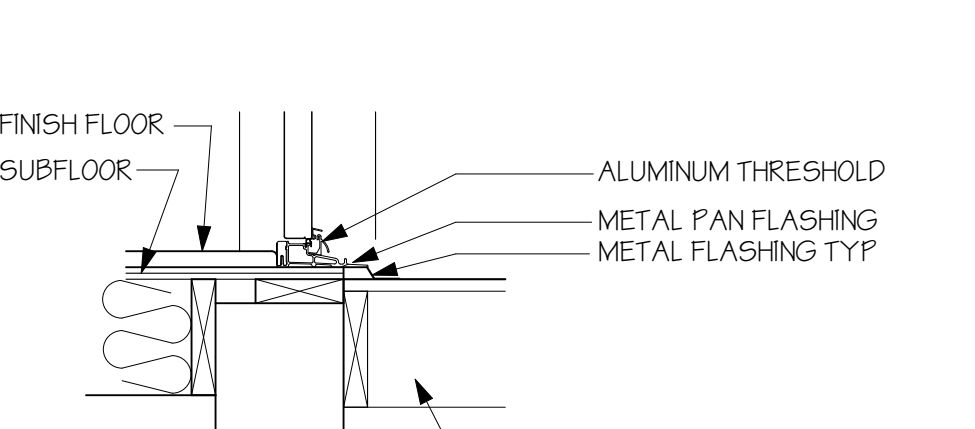
TYPICAL WINDOW NOTE:  
1. INSTALL BACKER ROD AND/OR FOAM INSULATION @ ANY GAP BETWEEN WINDOW AND ROUGH FRAME, TYP



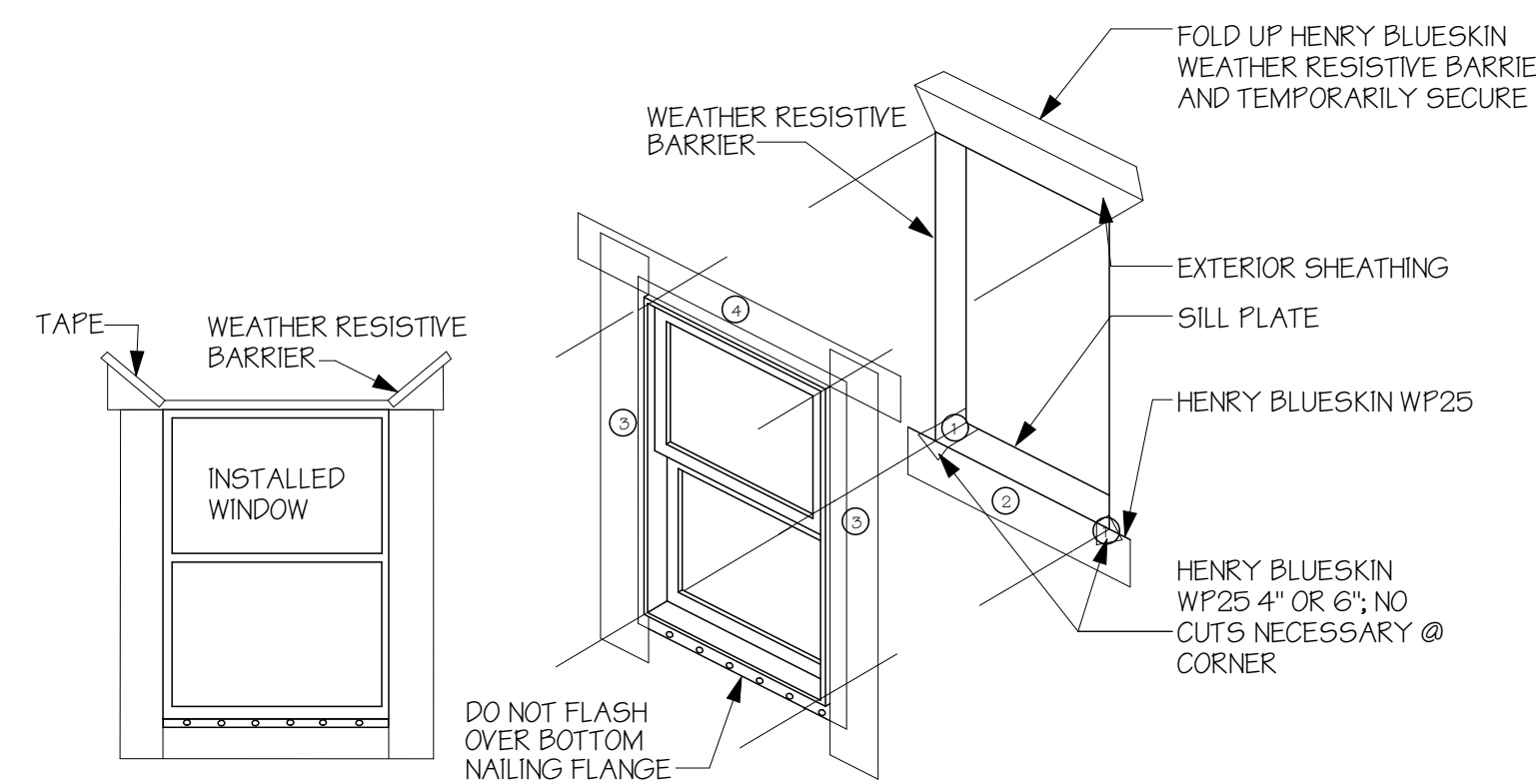
**4 TYP EXTERIOR DOOR HEAD**  
1" = 1'-0"



**5 TYP EXTERIOR DOOR JAMB**  
1" = 1'-0"

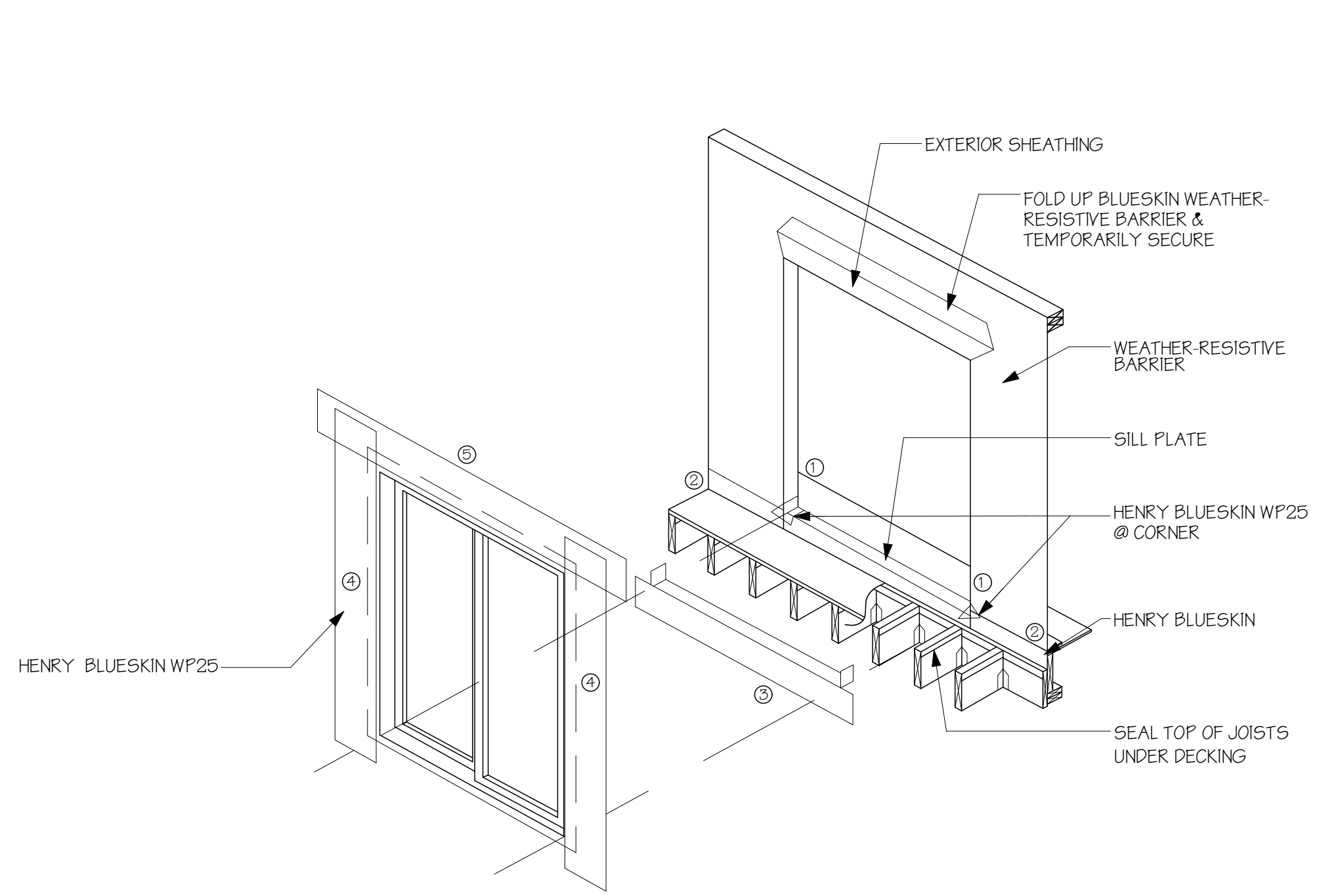


**6 TYP DOOR THRESHOLD**  
1" = 1'-0"



- WINDOW FLASHING**
- CUT THE BLUESKIN FLUSH WITH THE ROUGH OPENING
  - CUT THE BLUESKIN AT 45 DEGREE ANGLE TO A POINT 9\"/>
  - FOLD UP BLUESKIN FLAP AT HEAD AND TEMPORARILY SECURE WITH TAPE
  - CUT BLUESKIN WP25 (4\") TO FIT THE DEPTH OF THE SILL ADDING 3\"/>
  - FOLD BLUESKIN WP25 ALONG THE SPLIT BACKING PAPER
  - SLIDE INTO CORNER
  - PEEL OFF ONE BACKING STRIP AFTER ANOTHER AND PRESS ON FIRMLY
  - STARTING AT THE CORNER, SPREAD THE LOOSE END OF THE BLUESKIN WP25 GRADUALLY ONTO THE WALL FACE
  - USE BOTH THUMBS FOR A UNIFORM APPLICATION AND PRESS ON FIRMLY
  - USE BOTH THUMBS FOR A UNIFORM APPLICATION AND PRESS ON FIRMLY
  - REPEAT STEPS 8 AND 9 TO SEAL ALL CORNERS
  - CUT BLUESKIN WP25 6\"/>
  - PEEL OFF SECOND BACKING PAPER AND SEAL ONTO THE WALL FACE/FACADE AND PRESS ON FIRMLY
  - RELEASE FIRST BACKING PAPER AND SEAL TO RO
  - PEEL OFF SECOND BACKING PAPER AND SEAL ONTO THE WALL FACE/FACADE AND PRESS ON FIRMLY
  - REPEAT STEPS 11-14 TO SEAL ALL EDGES OF THE RO: SILL, JAMBS, AND HEAD
  - INSTALL THE WINDOW ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. UNLESS SPECIFIED, SEALANT IS NOT REQUIRED BEHIND THE NAIL FLANGE
  - USE BLUESKIN WP25 4\"/>
  - BOTTOM FLANGE REMAINS UNTAPED JAMB FLASHING EXTENDS 2\"/>
  - HEAD FLASHING EXTENDS 1\"/>
  - DRAP THE BLUESKIN FLAP OVER THE HEAD FLASHING
  - SEAL THE 45 DEGREE CUTS WITH BLUESKIN

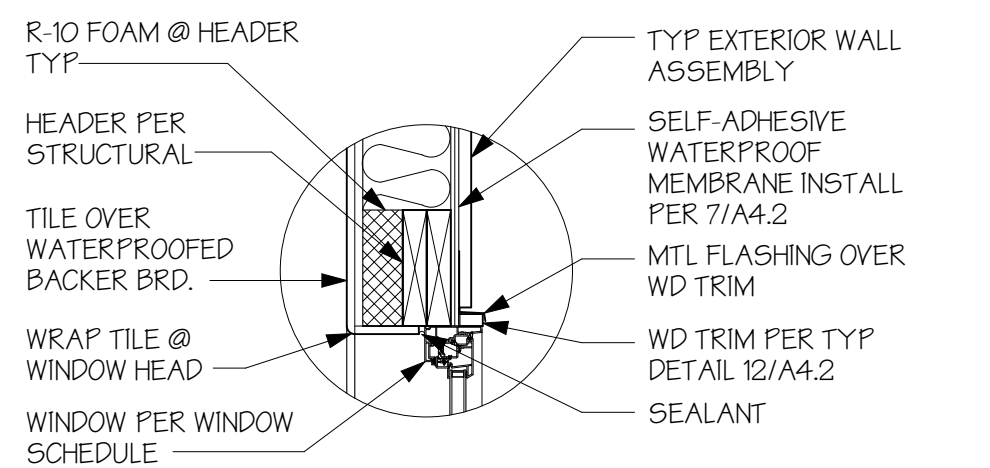
**7 HENRY BLUESKIN WP25 FLASHING DTL**  
N.T.S.



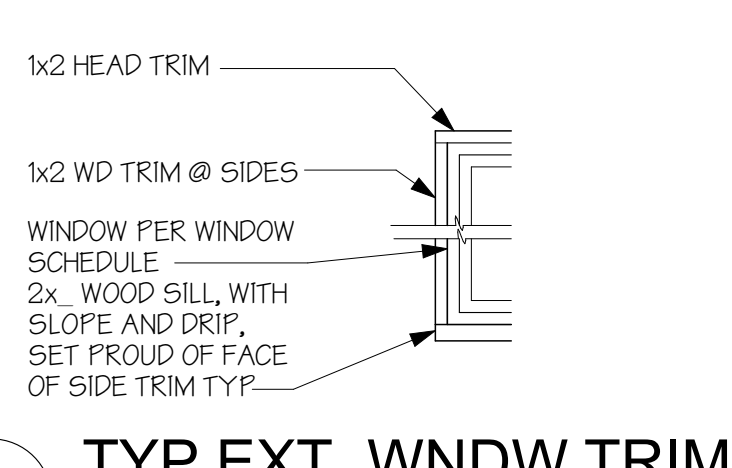
- TIE-IN WITH WEATHER RESISTIVE BARRIER INSTRUCTIONS
- INTEGRATE INSTALLATION OF HENRY BLUESKIN WEATHER-RESISTIVE BARRIER WITH HENRY BLUESKIN WP25 TO FORM WATER SHEDDING LAP'S
  - SCORE AND FOLD WEATHER-RESISTIVE BARRIER ABOVE HEADER TO ALLOW FOR HENRY BLUESKIN WP25 INSTALLATION
  - INSTALL HENRY BLUESKIN WP25 HEAD FLASHING UNDER WEATHER-RESISTIVE BARRIER
  - FOLD WEATHER-RESISTIVE BARRIER BACK OVER HEAD FLASHING AND SEAL WITH HENRY BLUESKIN TAPE

NOTES:  
1. VISIT RESIDENTIALHENRY.COM FOR THE MOST CURRENT DETAILS, INSTALLATION VIDEOS AND PRODUCT DATA SHEETS  
2. INSTALL HENRY BLUESKIN WP25 IN ORDER AS SHOWN BY NUMBERS

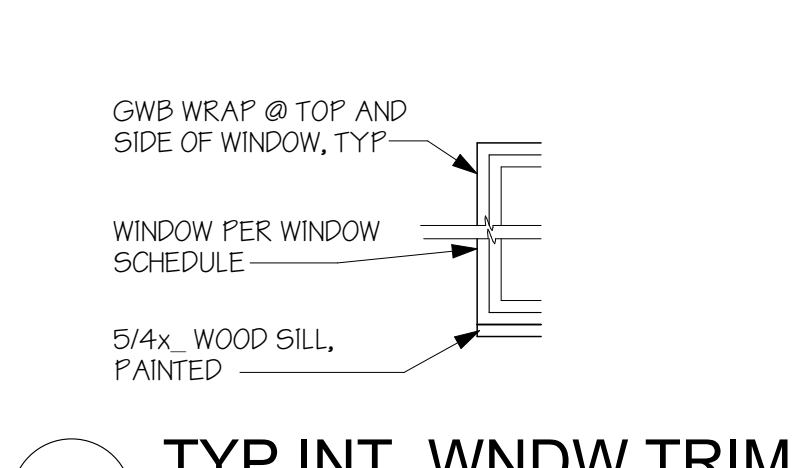
**8 HENRY BLUESKIN WP25 FLASHING DTL @ EXTERIOR**  
N.T.S.



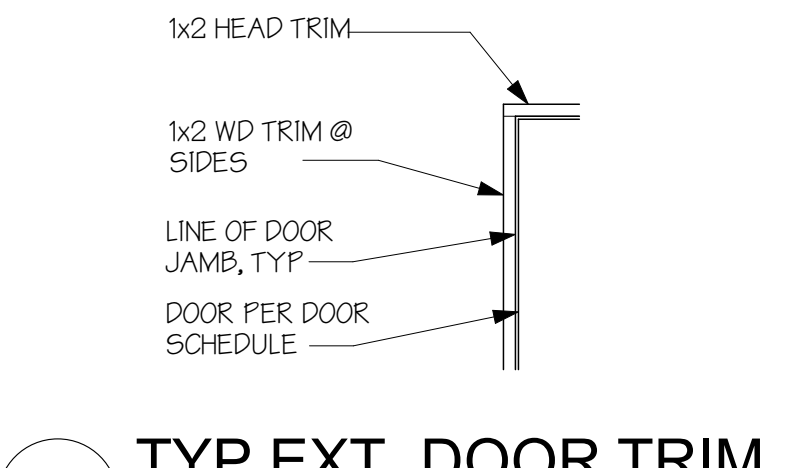
**9 TYP WNDW HEAD @ SHOWER**  
1" = 1'-0"



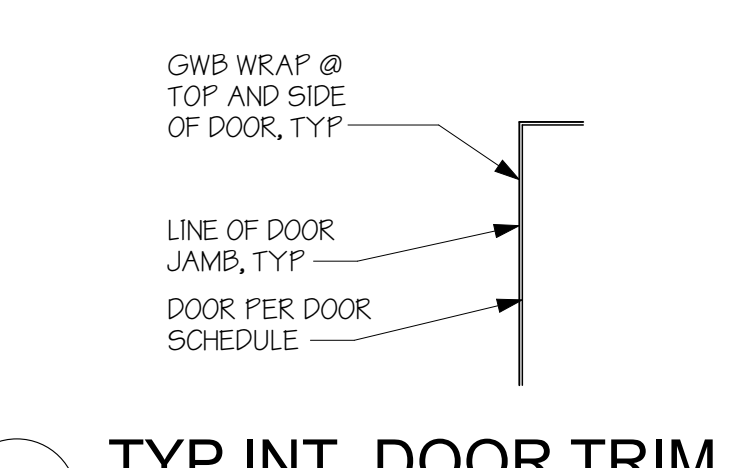
**12 TYP EXT. WNDW TRIM**  
3/4" = 1'-0" \* MATCH EXISTING



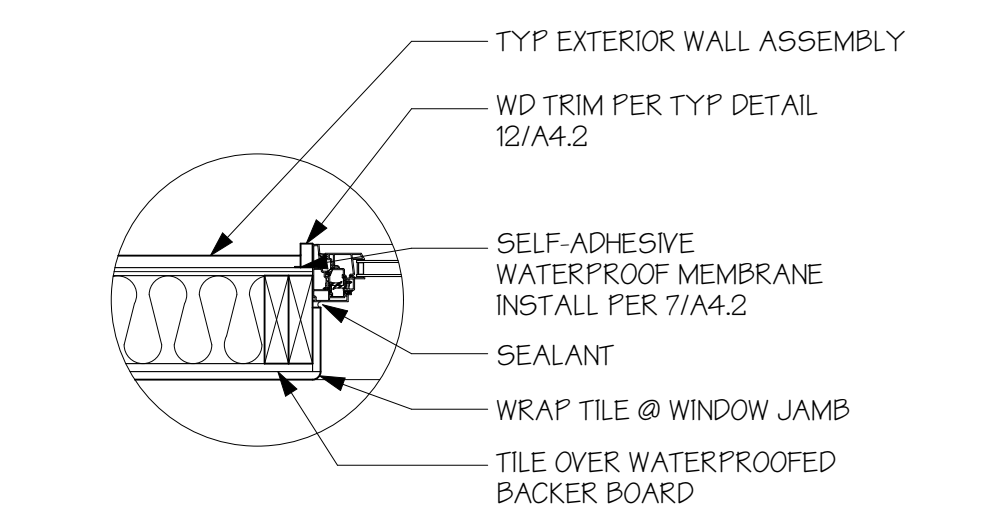
**13 TYP INT. WNDW TRIM**  
3/4" = 1'-0" \* MATCH EXISTING



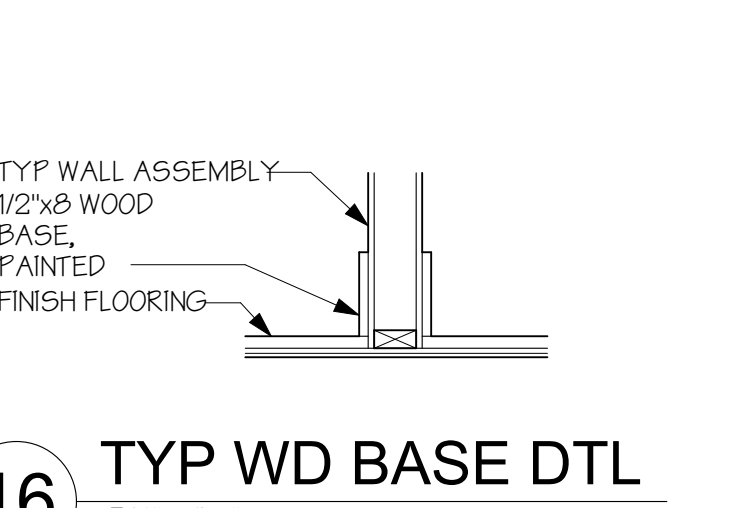
**14 TYP EXT. DOOR TRIM**  
3/4" = 1'-0" \* MATCH EXISTING



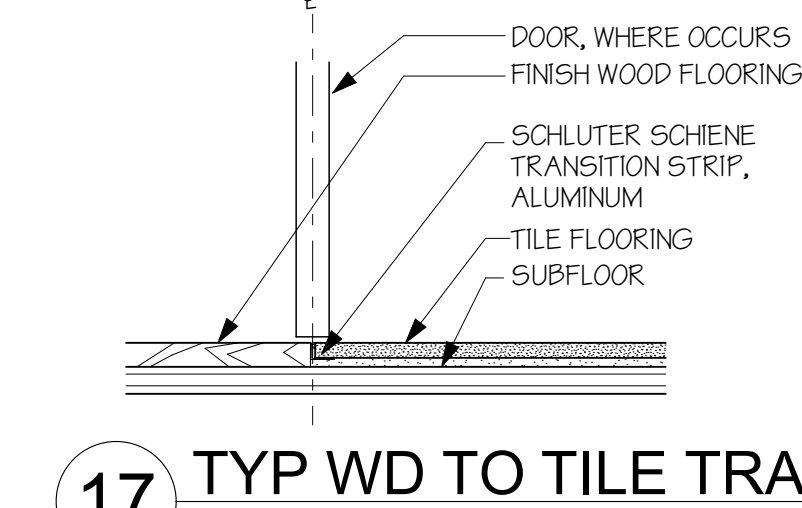
**15 TYP INT. DOOR TRIM**  
3/4" = 1'-0" \* MATCH EXISTING



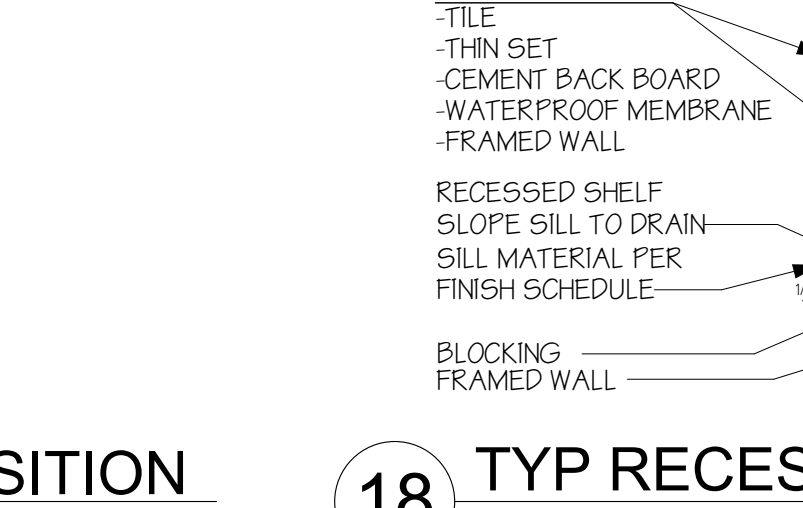
**10 TYP WNDW JAMB @ SHOWER**  
1" = 1'-0"



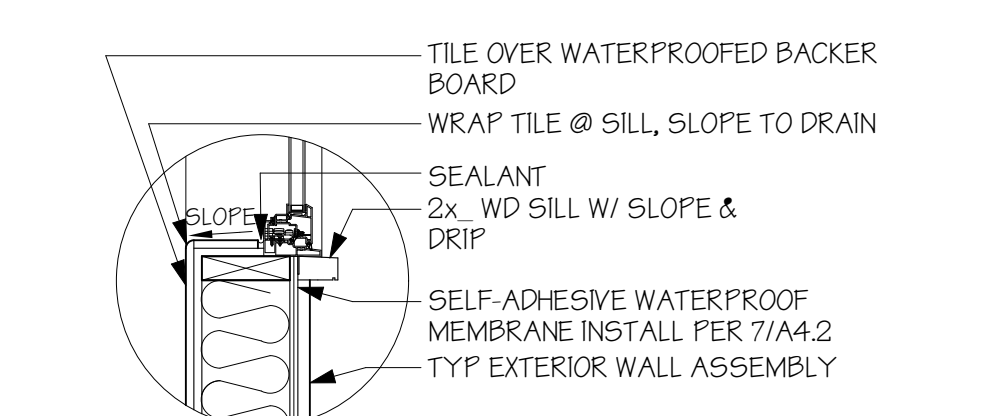
**16 TYP WD BASE DTL**  
3/4" = 1'-0"



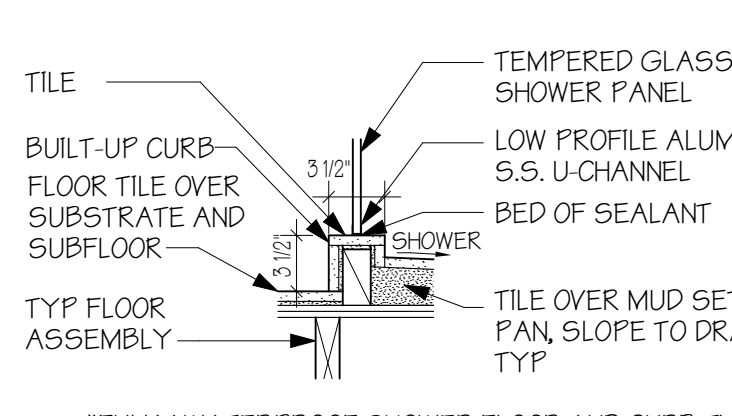
**17 TYP WD TO TILE TRANSITION**  
1-1/2" = 1'-0"



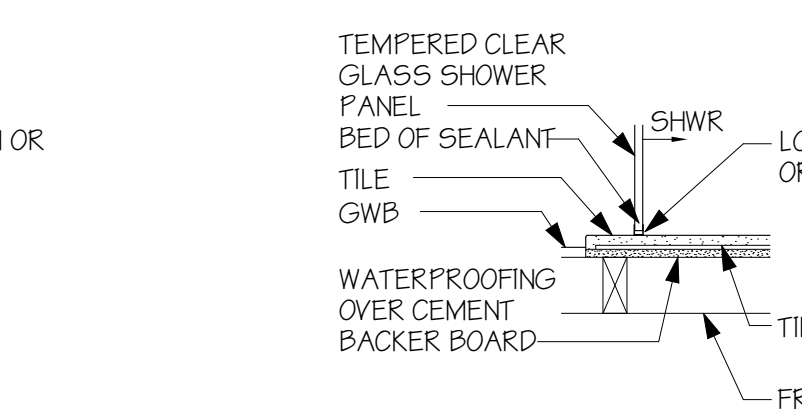
**18 TYP RECESSED SHELF DTL**  
1" = 1'-0"



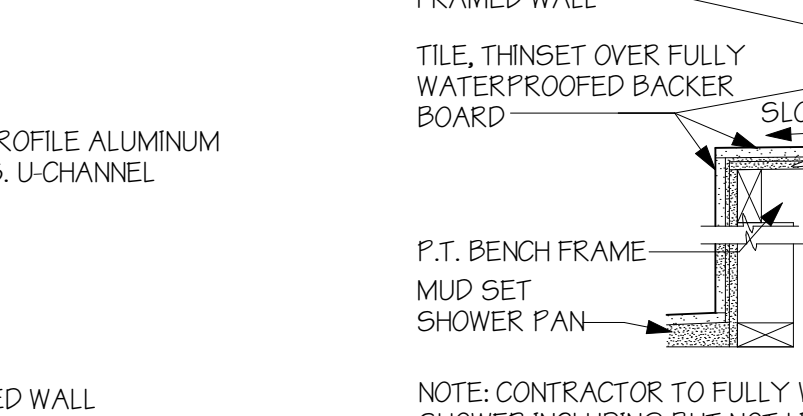
**11 TYP WNDW SILL @ SHOWER**  
1" = 1'-0"



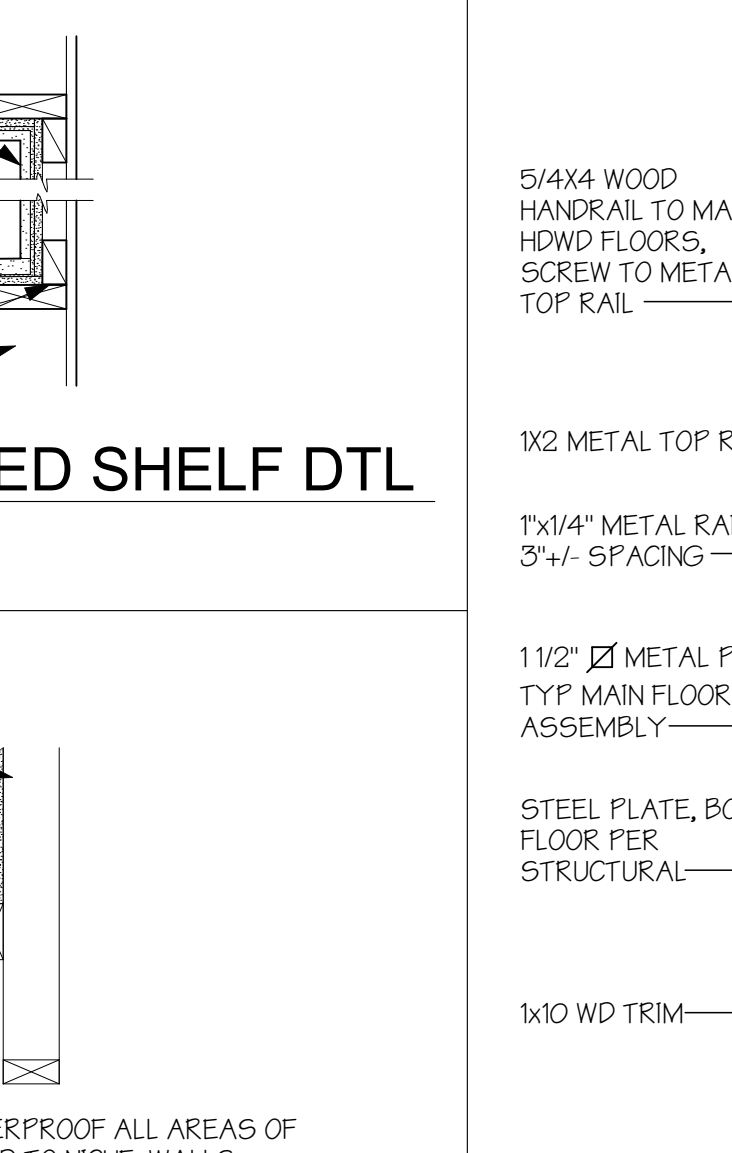
**19 TYP U-CHANNEL DTL @ CURB**  
1" = 1'-0"



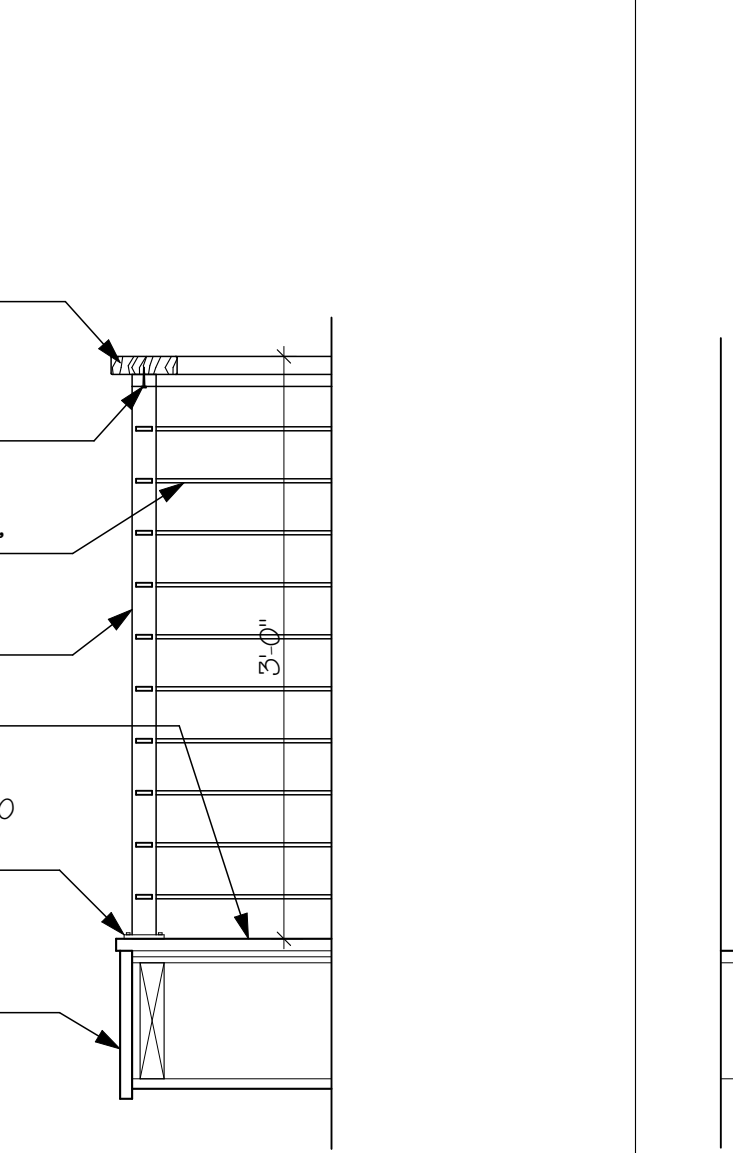
**20 TYP U-CHANNEL @ WALL**  
1" = 1'-0" PLAN VIEW



**21 TYP BENCH DTL - SECTION**  
1-1/2" = 1'-0"



**22 TYP INTERIOR RAILING**  
\*ALL METAL TO BE BLACK POWDER COATED



**23 TYP EXTERIOR RAILING**  
\*ALL METAL TO BE WHITE POWDER COATED

PEHA RESIDENCE  
7653 W MERCER WAY  
MERCER ISLAND WA 98040



H 2 D  
ARCHITECTURE  
+  
DESIGN  
23020 EDMONDS WAY, #113  
EDMONDS, WA 98020  
P. 206.542.3734  
www.h2darchitects.com

DATE: 07/12/2018  
REVISED: 12/12/2018

PERMIT SET

TYP. DETAILS  
REVIEWED FOR CODE COMPLIANCE  
January 23, 2019  
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A4.2





**SHEAR WALL SCHEDULE**

ALTERNATE

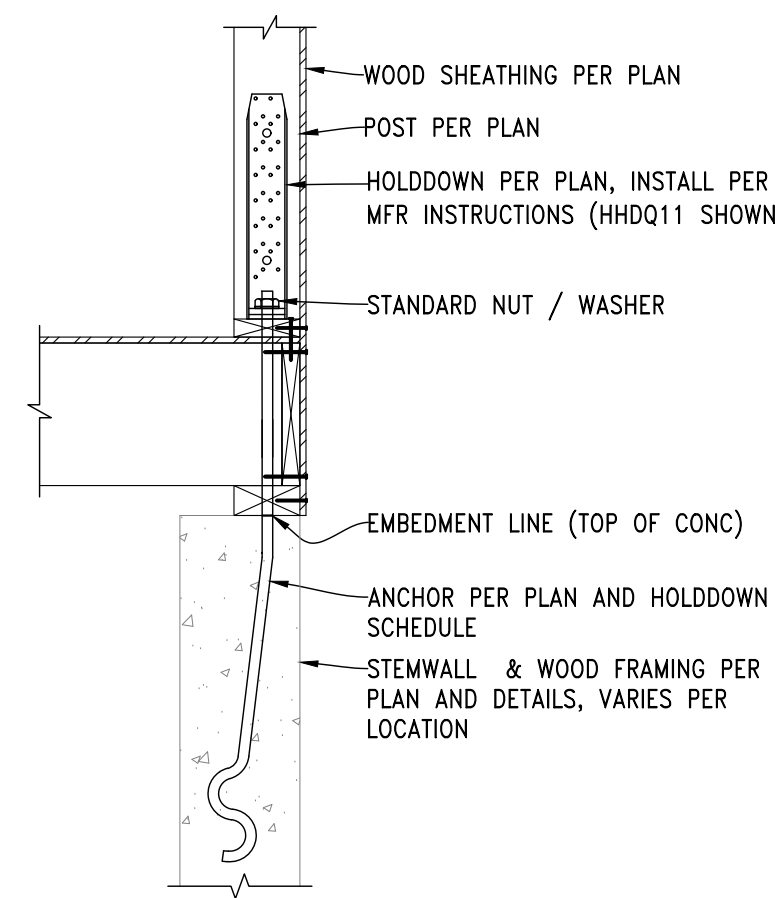
SW TYPE	WALL SHEATHING APA RATED	EDGE NAILING	BOTTOM PLATE ATTACHMENT	FRAMING CLIP TO WALL BELOW	MINIMUM RIM BOARD THICKNESS	FRAMING AT PANEL EDGES	BLOCKING AT ALL PANEL EDGES	ANCHOR BOLT TO CONCRETE FOUNDATION	SILL PLATE AT FOUNDATION	ALLOWABLE SHEAR WALL CAPACITY (PLF)	
										SEISMIC	WIND
SINGLE-SIDED											
SW-6	15/32"	8d @ 6"OC	16d SINKER @ 5"OC	LTP5 @ 18"OC	1 1/4"	2x	2x	5/8" @ 48"OC 5/8" @ 60"OC	P.T. 2x P.T. 3x	310	435
SW-4	15/32"	8d @ 4"OC	(2) ROWS 16d SINKER @ 6"OC, STAGGERED	LTP5 @ 12"OC	1 3/4"	2x	2x	5/8" @ 32"OC 5/8" @ 40"OC	P.T. 2x P.T. 3x	460	645
2SW-3	15/32" BOTH SIDES	8d @ 3"OC	(3) ROWS 16d SINKER @ 4"OC, STAGGERED	LTP5 @ 8"OC & A35 @ 8"OC	3 1/2"	3x	3x	5/8" @ 16"OC	P.T. 3x	1200	1680

**NOTES**

- ALL NAILS ARE COMMON, UNO. REFERENCE GENERAL STRUCTURAL NOTES FOR NAIL DIAMETER AND LENGTH.
- REFERENCE SHEAR WALL KEY DETAIL FOR DESCRIPTION OF TERMS.
- PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF THE WALLS INDICATED ON THE PLANS. ENDS OF SHEAR WALLS ARE TYPICALLY AT WINDOWS, DOORWAYS OR AS SHOWN ON PLAN.
- EDGE NAILING IS REQUIRED AT ALL HOLDOWN POSTS. EDGE NAILING IS REQUIRED TO EACH STUD USED IN BUILT-UP HOLDOWN POSTS. REFERENCE HOLDOWN SCHEDULE & DETAILS FOR ADDITIONAL INFORMATION.
- INTERMEDIATE FRAMING TO BE 2x MINIMUM MEMBERS UNO IN SCHEDULE. ATTACH SHEATHING TO INTERMEDIATE FRAMING WITH EDGE NAILING AT 12"OC WHERE STUDS ARE SPACED AT 16"OC AND EDGE NAILING AT 6"OC WHERE STUDS ARE SPACED AT 24"
- SIMPSON STRONG-TIE "A35" MAY BE USED IN LIEU OF "LTP5." "LTP5" CLIPS SHALL BE ORIENTED LENGTHWISE (HORIZONTAL) AT PLATE TO RIM. USE 0.131"Øx1½ NAILS WHERE "LTP" TYPE CLIPS ARE ATTACHED DIRECTLY TO FRAMING AS OPPOSED TO OVER SHEATHING. USE 0.131"Øx2½ NAILS WHERE "LTP" TYPE CLIPS ARE INSTALLED OVER SHEATHING. REFERENCE DETAIL 2/S102 FOR CLARIFICATION.
- (2) 2x STUDS NAILED TOGETHER MAY BE USED IN PLACE OF SINGLE 3x STUD. DOUBLE 2x STUDS SHALL BE SECURED TOGETHER WITH FASTENERS OF THE SAME DIAMETER AND SPACING AS THE BOTTOM PLATE ATTACHMENT PER SCHEDULE.
- WHERE SHEATHING IS APPLIED ON BOTH SIDES OF A SHEAR WALL AND NAIL SPACING IS LESS THAN 6"OC ON EITHER SIDE, THE WIDTH OF THE NAILED FACE OF THE FRAMING MEMBER SHALL BE 3" NOMINAL OR GREATER AT ADJOINING PANEL EDGES AND NAILS AT ALL PANEL EDGES SHALL BE STAGGERED. ALTERNATIVELY, PANELS SHALL BE STAGGERED SO THAT EDGE JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUD.
- ANCHOR BOLTS SHALL BE PROVIDED WITH HOT-DIPPED GALVANIZED STEEL PLATE WASHERS PER DETAILS ON DRAWINGS. EMBED ANCHOR BOLTS 7" MINIMUM INTO THE CONCRETE PROVIDE AN ANCHOR BOLT AT EACH END OF EACH PLATE AND SHALL BE AT LEAST 7 TIMES THE ANCHOR BOLT DIAMETER FROM THE ENDS OF THE PLATE, BUT NOT MORE THAN ½ THE TABULATED ANCHOR BOLT SPACING OR 12", WHICHEVER IS LESS. SEE ANCHOR BOLT DETAIL FOR PLATE WASHER REQUIREMENTS. [ALT: ¾"Øx8" TITEN HD ANCHOR SCREWS MAY BE USED IN LIEU OF ANCHOR BOLTS AT EXISTING CONCRETE, WITH PLATE WASHER & SPACING REQUIREMENTS PER SCHEDULE.]
- PROVIDE HOT-DIPPED GALVANIZED NAILS AND CONNECTOR PLATES (FRAMING ANGLES, ETC.) AT ALL PRESSURE TREATED LUMBER. REFERENCE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
- PANELS MAY BE INSTALLED HORIZONTALLY IF STUDS ARE SPACED AT 16"OC MAX.
- STAGGER EDGE NAILING.
- THE TOP EDGE OF THE WOOD STRUCTURAL PANEL SHALL BE ATTACHED TO THE UPPER TOP PLATE. ROOF OR UPPER LEVEL UPLIFT CONNECTORS SHALL BE ON THE SAME SIDE OF THE WALL AS THE SHEATHING.
- THE BOTTOM EDGE OF THE WOOD STRUCTURAL PANEL SHALL EXTEND TO AND BE ATTACHED TO THE BOTTOM OR SILL PLATE.
- REFERENCE DETAIL BELOW FOR STAGGERED NAIL AND SCREW SPACING AT RIM BOARDS.
- WALL TYPE ACCEPTABLE WITH TRUSJOIST AND BOISE CASCADE RIM JOIST AND BLOCKING.

HOLDOWN SCHEDULE (HF-SEISMIC)							
MARK	MODEL #	ALLOWABLE UPLIFT (LBS)			MIN END STUDS	STUD FASTENERS	CONCRETE ANCHOR
		MID WALL	CORNER	END WALL			
1	HOU2-SDS2.5	2215			(2) 2x	(6) 1/4"Øx2 1/2"SDS	SSTB16
2	HOU8-SDS2.5	5665			(3) 2x	(20) 1/4"Øx2 1/2"SDS	SSTB28

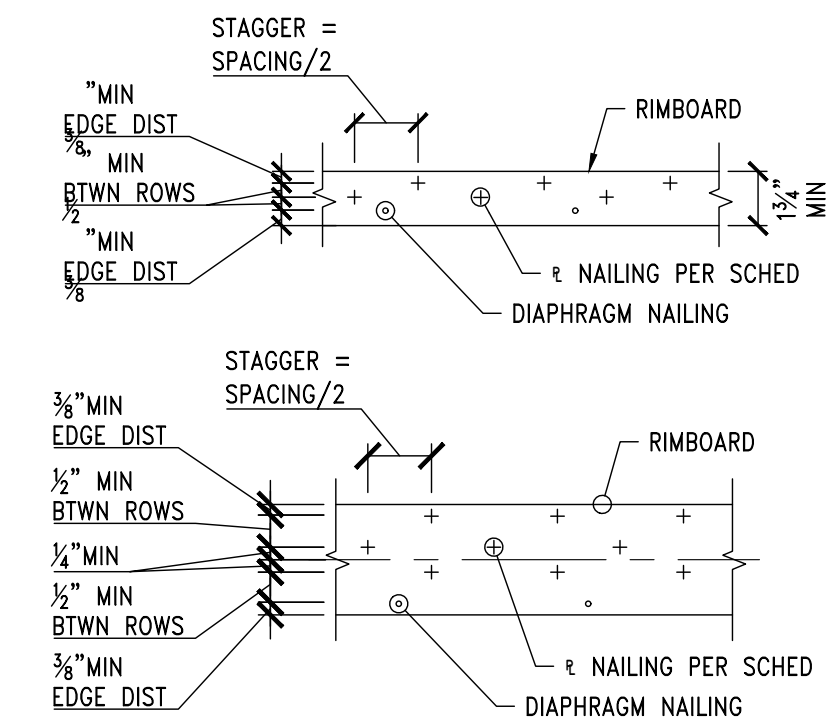
- REFERENCE FOUNDATION PLAN NOTE 1 FOR HOLDDOWNS AT EXISTING FOUNDATION LOCATIONS
- HOLDDOWNS SPECIFIED ARE BY SIMPSON STRONGTIE
- REFERENCE PLANS FOR ADDITIONAL STUD REQUIREMENTS WHERE OCCUR
- PROVIDE 1/4" X 3" SQ PLATE WASHER BETWEEN STANDARD DOUBLE NUTS. EMBED LENGTH EQUAL TO TOP OF CONCRETE DOWN TO TOP OF PLATE WASHER
- INCREASE FOOTING DEPTH LOCALLY AS REQUIRED TO ACHIEVE REQUIRED EMBEDMENT DEPTH AS SPECIFIED BY HOLDDOWN MANUFACTURER
- AT POST INSTALL HDU8 LOCATION, EPOXY SET F1554 GRADE 36 X 7/8" DIAMETER X 18" LONG ALL THREAD ROD WITH SIMPSON SET XP.



**3**

**DETAIL**

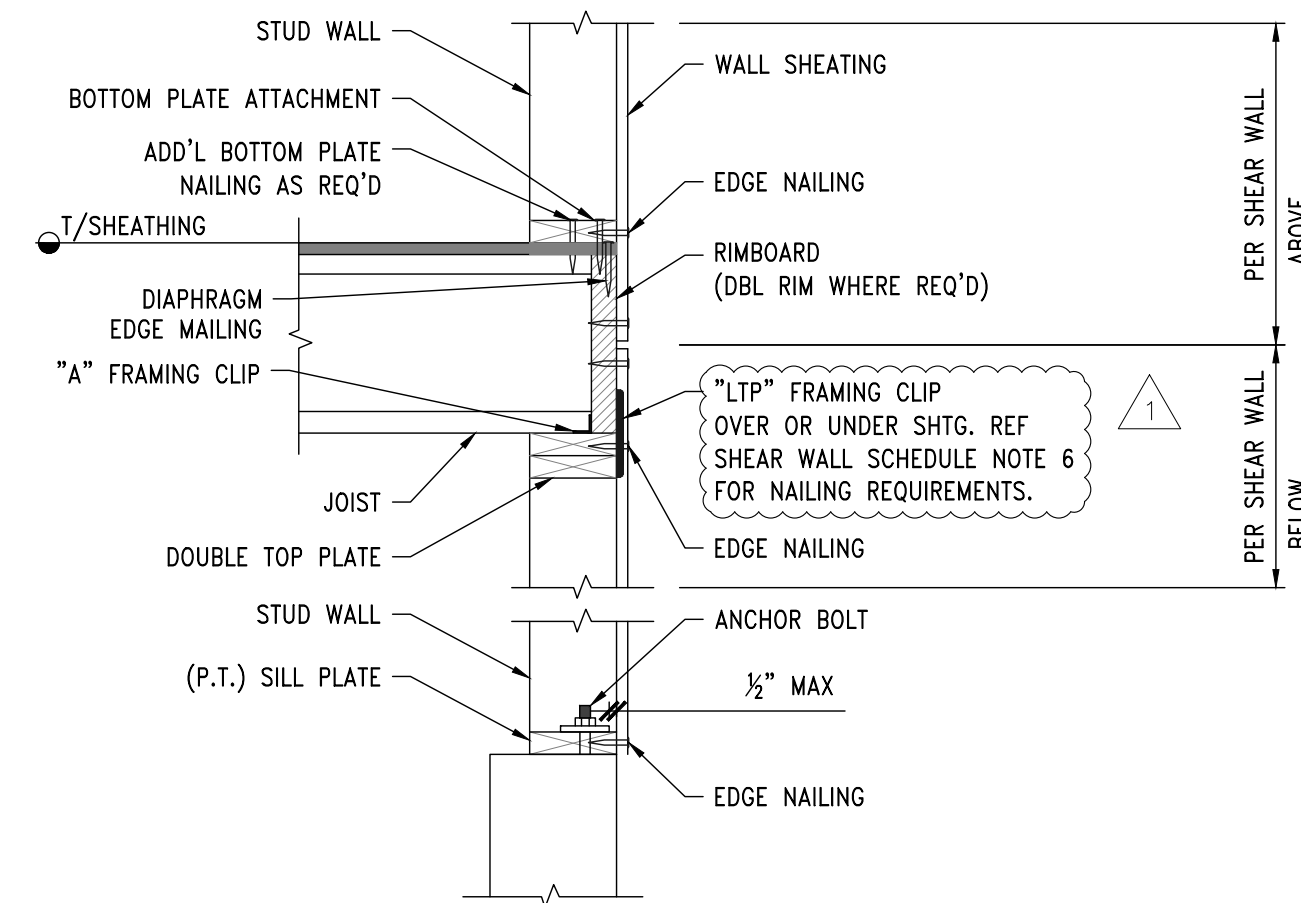
SCALE: 3/4"=1'-0"  
HOLDDOWN SECTION



**1**

**DETAIL**

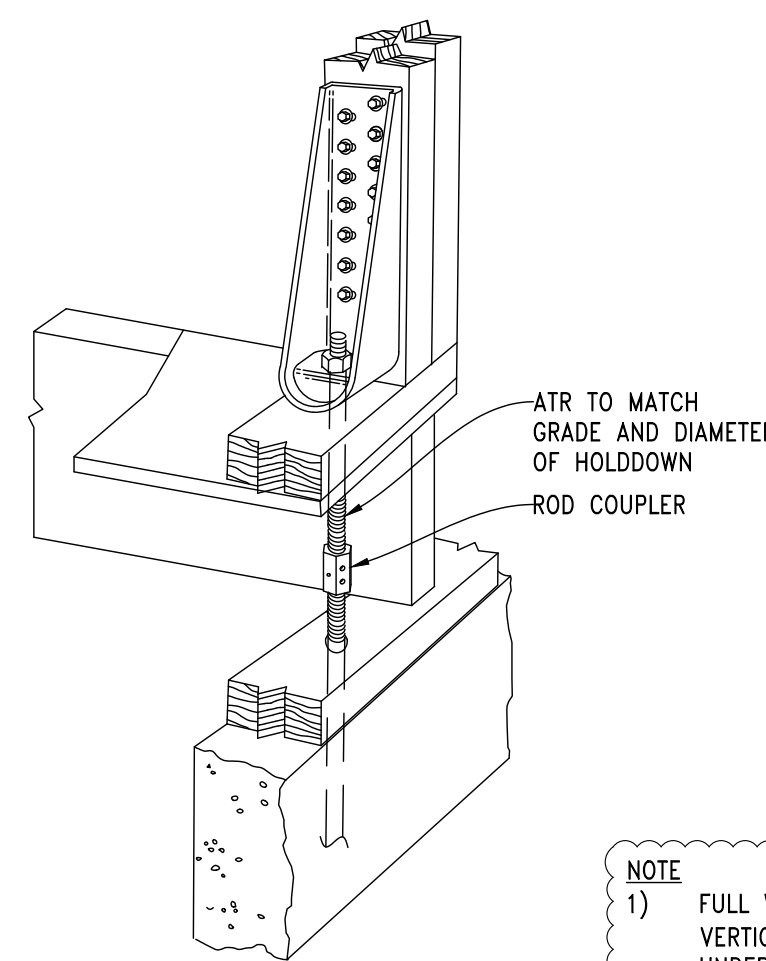
SCALE: 3/4"=1'-0"  
TYPICAL PLATE TO RIM NAILING



**2**

**DETAIL**

SCALE: 3/4"=1'-0"  
SHEAR WALL KEY DETAIL



**4**

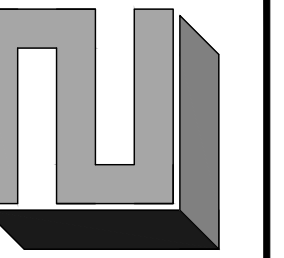
**DETAIL**

SCALE: 3/4"=1'-0"  
HOLDDOWN - ISOMETRIC

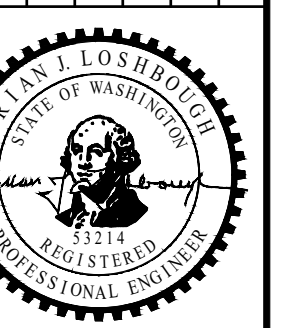
NOTE  
1) FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS.  
2) RIM & COMPRESSION BLOCKING NOT SHOWN FOR CLARITY.

CHECK SET - NOT FOR CONSTRUCTION

**L2 ENGINEERS**  
DESIGN AND PLANNING  
17848 NE 198TH PLACE  
WOODINVILLE, WA 98072



DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2



PEHA RESIDENCE  
7653 W MERCER WAY, MERCER ISLAND, WA 98040

GENERAL STRUCTURAL NOTES

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CHK BY: BJJ  
DRW BY: BJJ

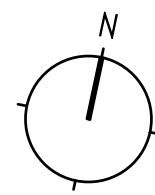
SCALE: AS SHOWN  
BAR = 1"  
FULL SIZE

DATE: 12/26/2018

JOB NO: 18-038

SHEET: 3 OF 11

DWG NO: S102



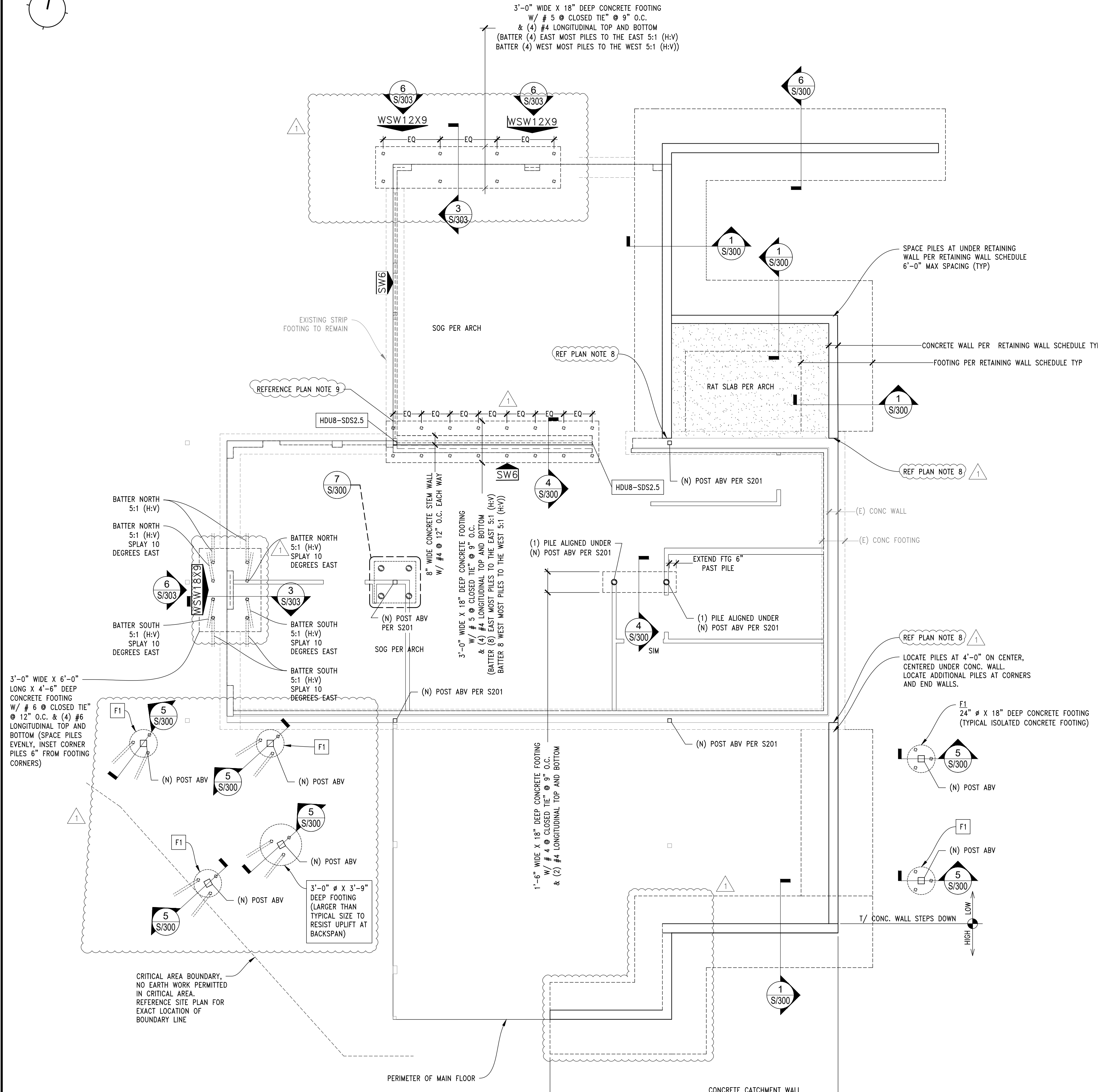
3'-0" WIDE X 18" DEEP CONCRETE FOOTING  
W/ # 5 @ CLOSED TIE @ 9" O.C.  
& (4) #4 LONGITUDINAL TOP AND BOTTOM  
(BATTER (4) EAST MOST PILES TO THE EAST 5:1 (H:V)  
BATTER (4) WEST MOST PILES TO THE WEST 5:1 (H:V))

**KEY**

- CONCRETE STEM WALL
- CONCRETE SPREAD FOOTING
- WALL
- HOLDDOWN MARK (REF. HOLDDOWN SCHEDULE)
- 2" DIAMETER PIPE PILE DRIVEN TO REFUSAL PER NOTE 1

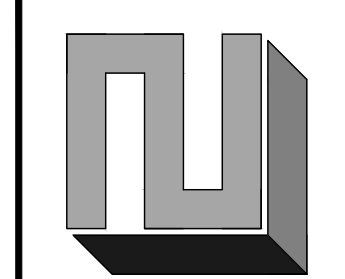
**FOUNDATION PLAN NOTES**

1. 2" DIAMETER PIPE PILES DRIVEN WITH A MINIMUM 90-POUND JACKHAMMER OR A 140 POUND RHINO HAMMER TO A FINAL PENETRATION RATE OF 1-INCH OR LESS FOR ONE MINUTE OF CONTINUOUS DRIVING.
2. CONTRACTOR TO COORDINATE CURBS AND ELECTRICAL AND MECHANICAL FLOOR OPENINGS AND PENETRATIONS WITH ARCHITECTURAL DRAWINGS.
3. THE BOTTOM OF ALL PERIMETER FOOTINGS SHALL BE A MINIMUM OF 18" BELOW GRADE AND BEAR UPON FIRM UNDISTURBED SOIL.
4. ALL WOOD IN CONTACT WITH WEATHER, EXPOSED CONCRETE, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
5. USE HOT DIPPED GALVANIZED FASTENERS AND ZMAX HARDWARE AT CONNECTIONS TO PRESSURE TREATED LUMBER.
6. SLAB ON GRADE SHALL BE 4 1/2" THICK WITH WWF 6X6-W2.1X2.1 MID DEPTH TYP. CRACK CONTROL JOINT PLACEMENT PER CONTRACTOR / ARCH.
7. TYPICAL STEM WALL: 8" THICK CAST IN PLACE CONCRETE WALL WITH #4 @ 12" OC EACH WAY. MIN (1) LONGITUDINAL TOP AND BOTTOM.
8. AT LOCATIONS AT WHICH NEW FOUNDATION WALLS ABUT EXISTING FOUNDATION WALLS, EPOXY EMBED NEW LONGITUDINAL WALL REINFORCING 6" INTO EXISTING WALL USING SIMPSON SET XP EPOXY. ROUGHEN EXISTING CONCRETE AT INTERFACE TO 1/4" AMPLITUDE.
9. EXTEND LONGITUDINAL GRADE BEAM REINFORCING 24" MIN INTO PC4. CONNECT PC4 TO ADJACENT FOUNDATIONS WITH (2) #4 (EPOXY SET W/ SIMPSON SET XP) 6" INTO (E) FOOTINGS (MID DEPTH) EXTEND 24" MIN INTO PC4.
10. PIPE PILES UNDER RETAINING WALL NOT ON PLAN, REFERENCE DETAIL 1/S300 FOR PILE PLACEMENT.

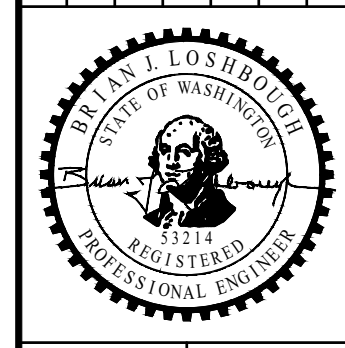


**PLAN**  
SCALE: 1/4"=1'-0"  
FOUNDATION PLAN

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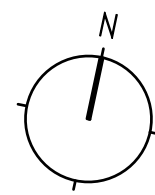
DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2



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7653 W MERCER WAY, MERCER ISLAND, WA 98040  
FOUNDATION PLAN

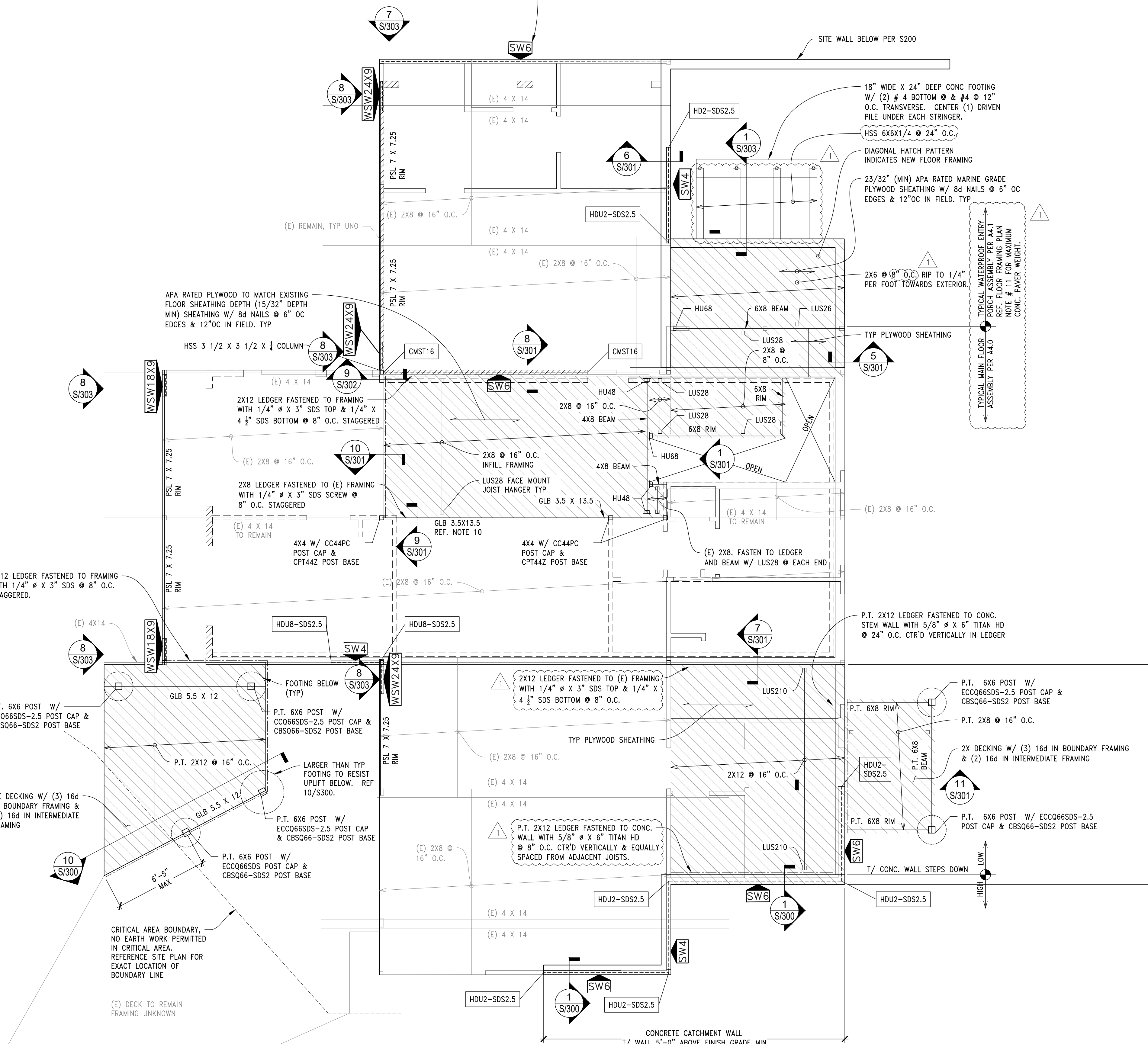
**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
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CHK BY: BJL	DRW BY: BJL
SCALE: AS SHOWN BAR = 1" FULL SIZE	
DATE: 12/26/2018	JOB NO: 18-038
SHEET: 4 OF 11	DWG NO: S200



THIS SHEAR WALL DOES NOT REQUIRE HOLDDOWNS @ ENDS CONTRACTOR MAY VERIFY THAT EXISTING SHEATHING AND WALLING MEETS SW'S REQUIREMENTS IN LIEU OF FULL SHEATHING REPLACEMENT. CONTRACTOR SHALL DOCUMENT FINDINGS AND REPORT TO EOR.

SITE WALL BELOW PER S200



**PLAN**  
SCALE: 1/4"=1'-0"  
MAIN FLOOR FRAMING PLAN

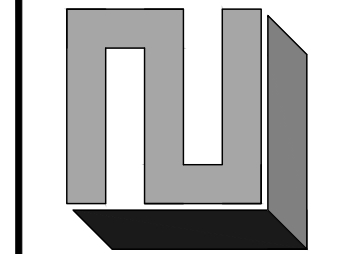
**KEY**

- CIP CONCRETE STEM WALL BELOW
- === WALL BELOW
- WALL
- ==== SHEAR WALL
- SW# SHEAR WALL INDICATOR (REF. SHEAR WALL SCHEDULE)
- A HOLDDOWN MARK (REF. HOLDDOWN SCHEDULE)

**FLOOR FRAMING PLAN NOTES**

1. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID, TYPICAL. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
2. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS.
3. AT ALL BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER PLANS AND GENERAL NOTES.
4. ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
5. ALL METAL HARDWARE FOR EXTERIOR USE SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL
6. HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE 4X10 MINIMUM. HEADERS SHOWN SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN.
7. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.
8. FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS.
9. AT TYPICAL WATERPROOF ENTRY PORCH ASSEMBLY, USE CONCRETE PAVERS WITH MAXIMUM WEIGHT OF 25 LB/SF.
10. "SPlice" NEW GLB W/ EXISTING BEAM OVER CENTERLINE OF NEW POST

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DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2



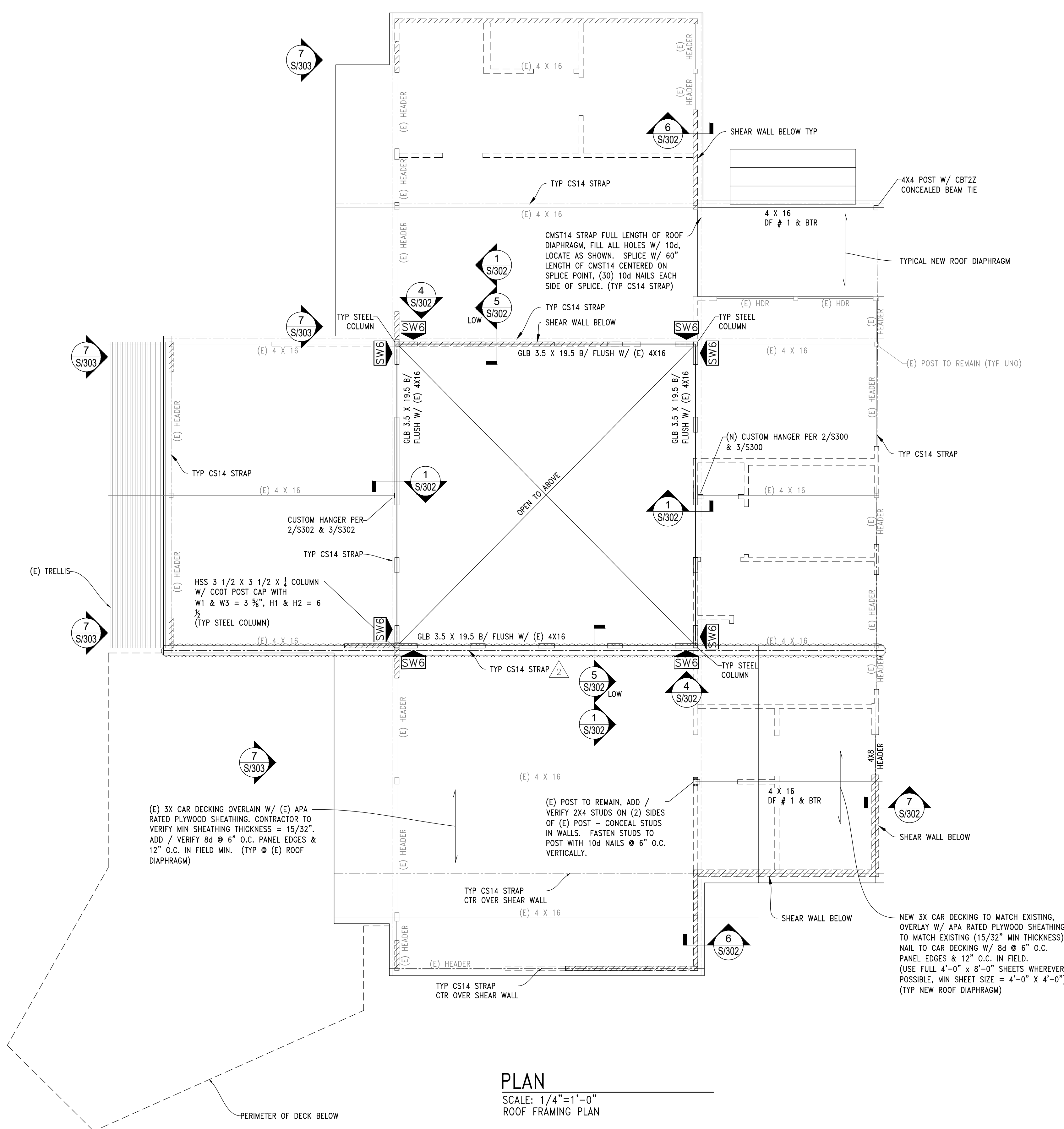
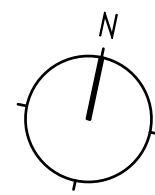
PEHA RESIDENCE  
7653 W MERCER WAY, MERCER ISLAND, WA 98040  
MAIN FLOOR FRAMING PLAN

**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
SITE COPY

CHK BY: BJJ  
DRW BY: BJJ

SCALE: AS SHOWN  
BAR = 1"  
FULL SIZE

DATE: 12/26/2018  
JOB NO: 18-038  
SHEET: 5 OF 11  
DWG NO: S201



**PLAN**  
SCALE: 1/4"=1'-0"  
ROOF FRAMING PLAN

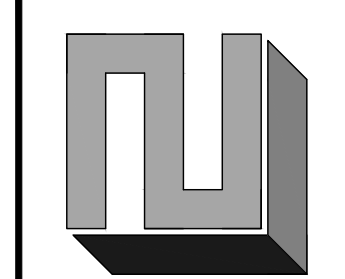
**KEY**

- === WALL BELOW
- SHEAR WALL BELOW
- ==== SHEAR WALL
- SW# SHEAR WALL INDICATOR (REF. SHEAR WALL SCHEDULE)
- A HOLDDOWN MARK (REF. HOLDDOWN SCHEDULE)

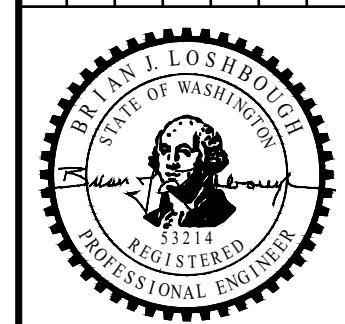
**ROOF FRAMING PLAN NOTES**

1. REFERENCE S1.0 FOR GENERAL STRUCTURAL NOTES AND DESIGN CRITERIA.
2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. CONTINUOUS INTERIOR FOOTINGS ARE CENTERED GRIDLINES. CONTINUOUS EXTERIOR FOOTINGS ARE CENTERED UNDER EXTERIOR WALLS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
3. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
4. HEADERS SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNLESS SPECIFIED OTHERWISE ON PLAN.
5. ALL EXTERIOR STUD WALLS SHOWN ON THIS PLAN SHALL BE FRAMED WITH 2X4. REFERENCE GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING WOOD-FRAMED, BEARING AND SHEAR WALLS, STUD GRADES, SIZES AND SPACING.
6. ALL WOOD IN CONTACT WITH WEATHER, EXPOSED CONCRETE, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED.
7. USE HOT DIPPED GALVANIZED FASTENERS AND ZMAX HARDWARE AT CONNECTIONS TO PRESSURE TREATED LUMBER.
10. FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS.

CHECK SET - NOT FOR CONSTRUCTION



DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2

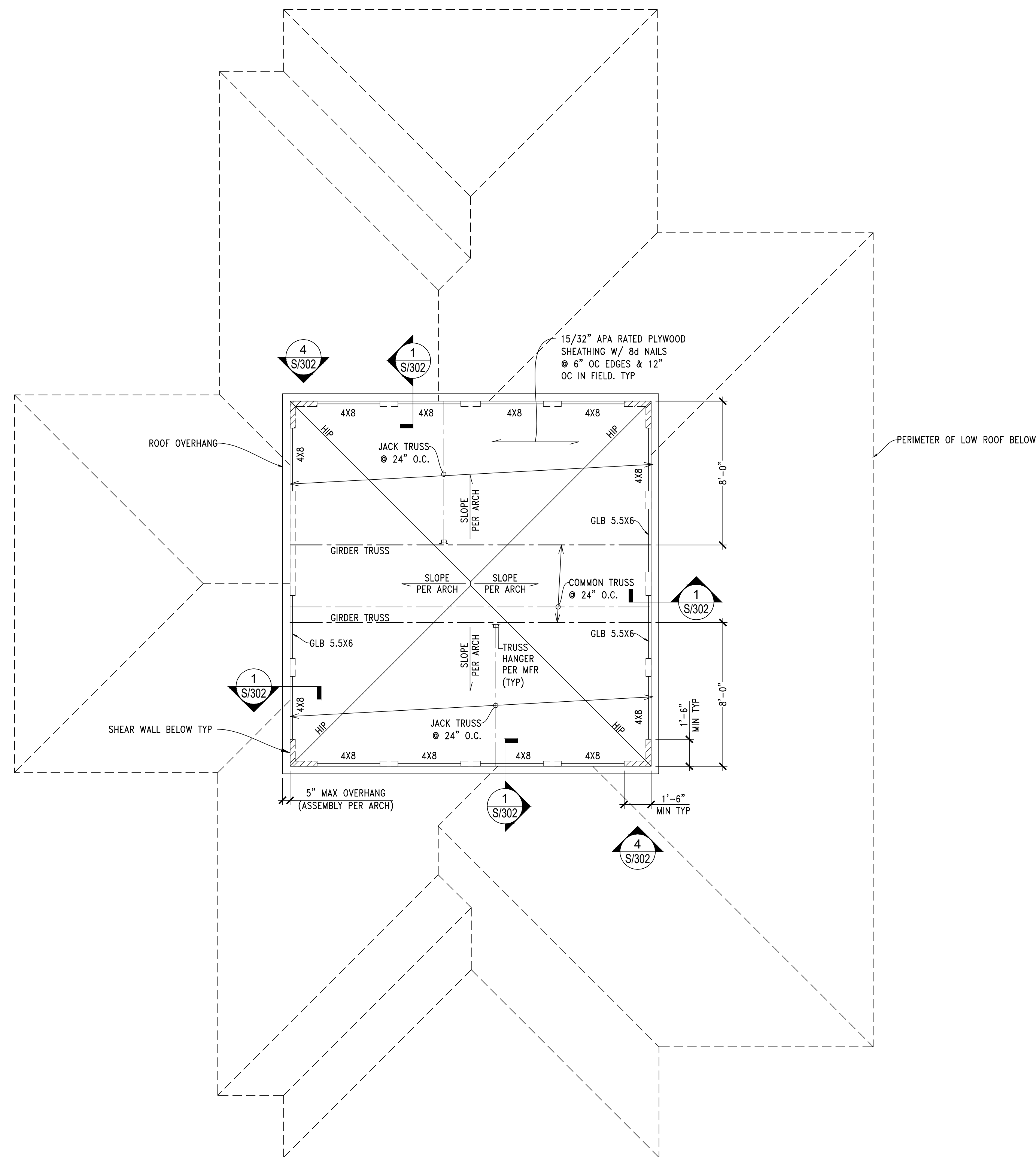
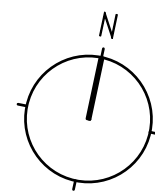


PEHA RESIDENCE  
7653 W MERCER WAY, MERCER ISLAND, WA 98040  
ROOF FRAMING PLAN

**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
SITE COPY

CHK BY: BJL	DRW BY: BJL
SCALE: AS SHOWN BAR = 1" FULL SIZE	
DATE: 12/26/2018	JOB NO: 18-038
SHEET: 6 OF 11	DWG NO: S202





**PLAN**  
 SCALE: 1/4"=1'-0"  
 CLERESTORY ROOF FRAMING PLAN

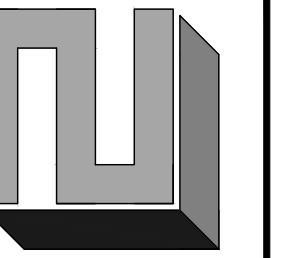
**KEY**

- ==== WALL BELOW
- ==== SHEAR WALL BELOW

**ROOF FRAMING PLAN NOTES**

1. REFERENCE S1.0 FOR GENERAL STRUCTURAL NOTES AND DESIGN CRITERIA.
2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. CONTINUOUS INTERIOR FOOTINGS ARE CENTERED GRIDLINES. CONTINUOUS EXTERIOR FOOTINGS ARE CENTERED UNDER EXTERIOR WALLS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER, UNO.
3. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
4. HEADERS SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNLESS SPECIFIED OTHERWISE ON PLAN.
5. ALL EXTERIOR STUD WALLS SHOWN ON THIS PLAN SHALL BE FRAMED WITH 2X6. REFERENCE GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING WOOD-FRAMED, BEARING AND SHEAR WALLS, STUD GRADES, SIZES AND SPACING.
6. ALL WOOD IN CONTACT WITH WEATHER, EXPOSED CONCRETE, OR WITHIN 8" OF FINISHED GRADE SHALL BE PRESSURE-TREATED
7. USE HOT DIPPED GALVANIZED FASTENERS AND ZMAX HARDWARE AT CONNECTIONS TO PRESSURE TREATED LUMBER.
9. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:
  - REFER TO THE STRUCTURAL GENERAL NOTES FOR STANDARD DEAD AND LIVE LOADS AND SUBMITTAL INFORMATION.
  - TRUSS SUPPLIER IS RESPONSIBLE FOR FINAL TRUSS LAYOUT AND CONFIGURATION. NOTIFY ENGINEER OF REVISIONS TO PLAN.
  - PROVIDE SIMPSON H1 HURRICANE TIES AT ALL ROOF TRUSSES AT INTERIOR AND EXTERIOR BEARING POINTS, TYP.
10. FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS. 11

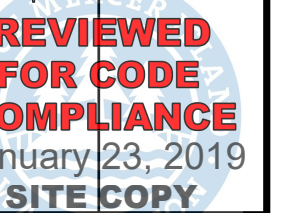
CHECK SET - NOT FOR CONSTRUCTION



DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2



PEHA RESIDENCE  
 7653 W MERCER WAY, MERCER ISLAND, WA 98040  
 CLERESTORY ROOF FRAMING PLAN



CHK BY: BJJ  
 DRW BY: BJJ

SCALE: AS SHOWN  
 BAR = 1"  
 FULL SIZE

DATE: 12/26/2018

JOB NO: 18-038

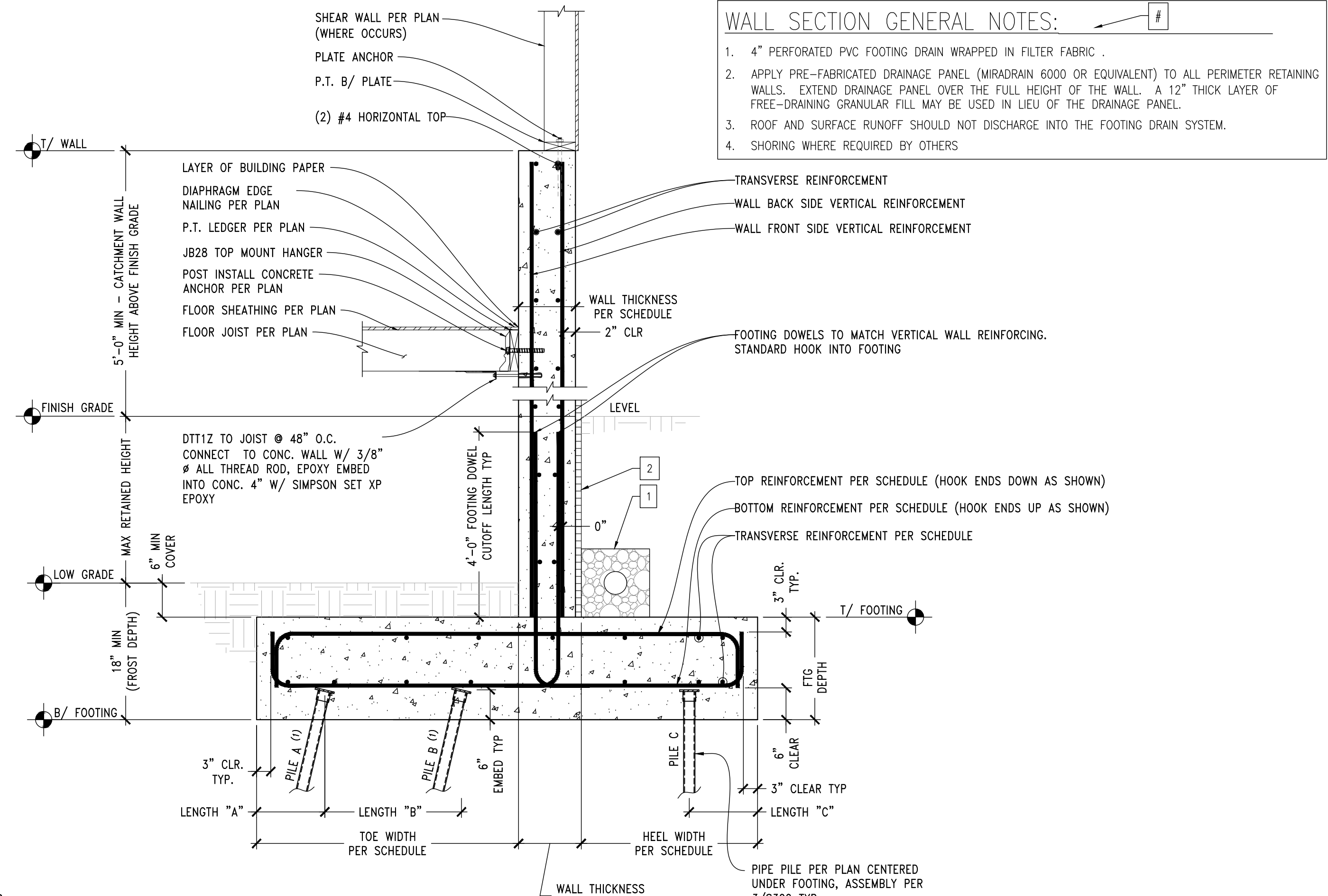
SHEET: 7 OF 11

DWG NO: S203

MAX RETAINED HEIGHT	WALL						FOOTING			PILES					
	THICKNESS	TRANSVERSE REINFORCEMENT	FRONT SIDE VERTICAL REINFORCEMENT	BACK SIDE VERTICAL REINFORCEMENT	TOE WIDTH	HEEL WIDTH	TRANSVERSE REINFORCEMENT	BOTTOM REINFORCEMENT	TOP REINFORCEMENT	PILE "A" SPACING	LENGTH "A"	PILE "B" SPACING	LENGTH "B"	PILE "C" SPACING	LENGTH "C"
4'-0" & LESS	12"	#4 @ 12" O.C.	#4 @ 12" O.C.	#5 @ 12" O.C.	5'-0"	4'-0"	#4 @ 12" O.C.	#6 @ 12" O.C.	#4 @ 12" O.C.	3'-9" O.C.	1'-0"	3'-0" O.C.	3'-0"	3'-0"	1'-0"
6'-0"	12"	#4 @ 12" O.C.	#4 @ 12" O.C.	#6 @ 10" O.C.	5'-0"	4'-0"	#4 @ 12" O.C.	#6 @ 10" O.C.	#4 @ 12" O.C.	2'-9" O.C.	1'-0"	2'-6" O.C.	3'-0"	2'-6"	1'-0"
8'-0"	12"	#4 @ 12" O.C.	#4 @ 12" O.C.	#6 @ 10" O.C.	5'-0"	4'-0"	#4 @ 12" O.C.	#6 @ 10" O.C.	#4 @ 12" O.C.	2'-0" O.C.	1'-0"	2'-0" O.C.	3'-0"	5'-9"	1'-0"

**WALL SECTION GENERAL NOTES:**

- 4" PERFORATED PVC FOOTING DRAIN WRAPPED IN FILTER FABRIC.
- APPLY PRE-FABRICATED DRAINAGE PANEL (MIRADRAIN 6000 OR EQUIVALENT) TO ALL PERIMETER RETAINING WALLS. EXTEND DRAINAGE PANEL OVER THE FULL HEIGHT OF THE WALL. A 12" THICK LAYER OF FREE-DRAINING GRANULAR FILL MAY BE USED IN LIEU OF THE DRAINAGE PANEL.
- ROOF AND SURFACE RUNOFF SHOULD NOT DISCHARGE INTO THE FOOTING DRAIN SYSTEM.
- SHORING WHERE REQUIRED BY OTHERS

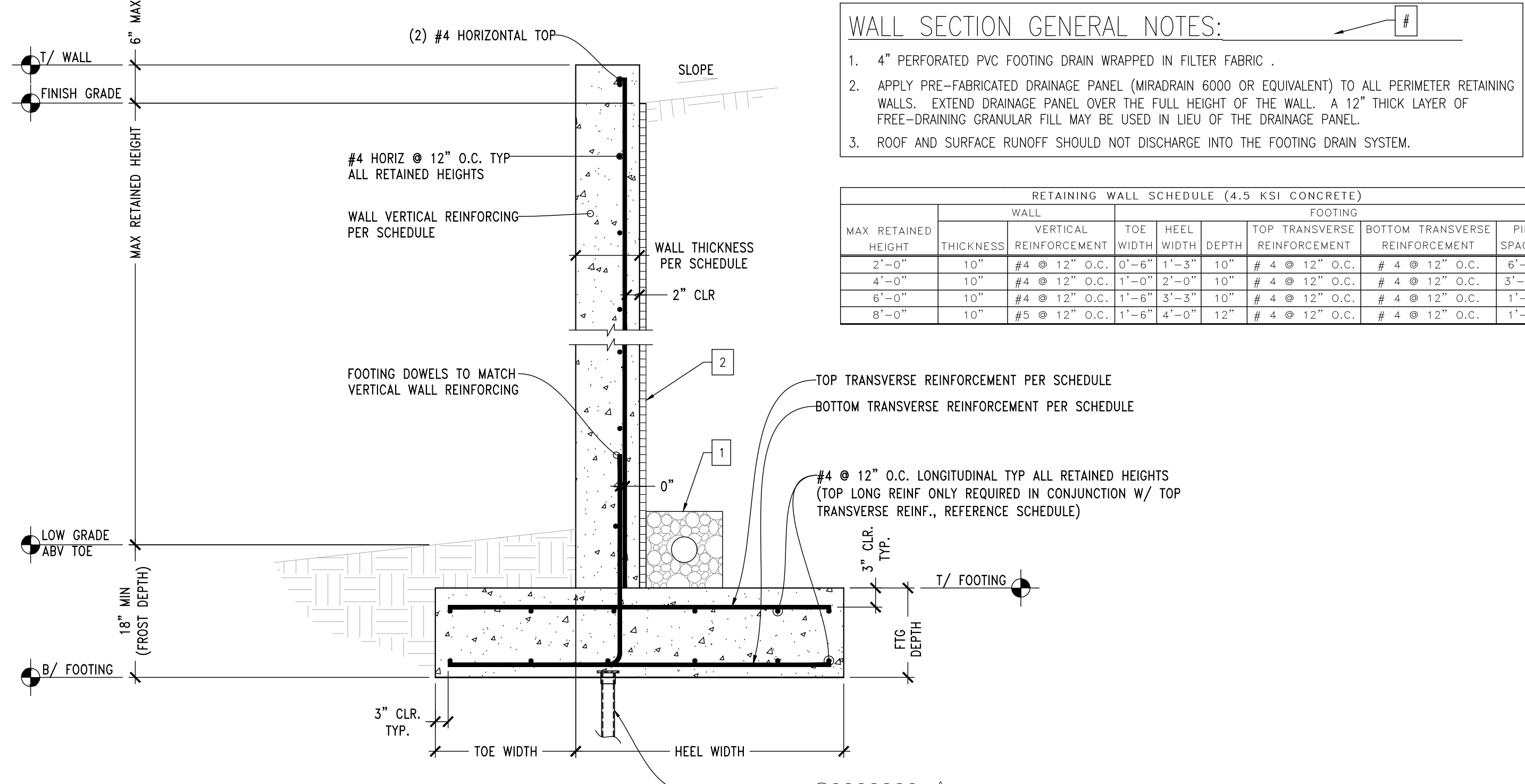


**1 DETAIL**  
SCALE: 3/4"=1'-0"  
CATCHMENT WALL

- NOTES
- DRIVE PILE A & B AT @ 1H : 5V BATTER ANGLE AWAY FROM RETAINED SOIL
  - WOOD FRAMING ATTACHMENTS PER S301, REFERENCE SECTION CUTS ON S201
  - SPECIAL INSPECTIONS REQUIRED FOR PILE TESTING AND DRIVING. PILE DRIVING LOGS TO BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FINAL APPROVAL FOR PROJECT

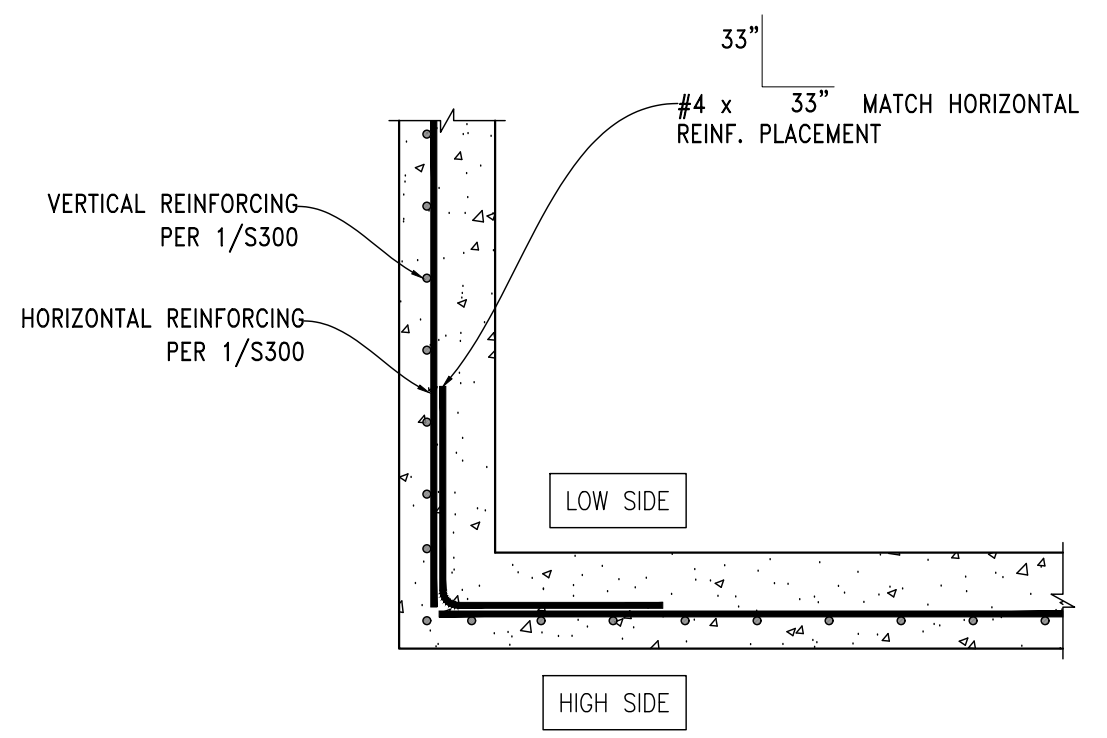
**WALL SECTION GENERAL NOTES:**

- 4" PERFORATED PVC FOOTING DRAIN WRAPPED IN FILTER FABRIC.
- APPLY PRE-FABRICATED DRAINAGE PANEL (MIRADRAIN 6000 OR EQUIVALENT) TO ALL PERIMETER RETAINING WALLS. EXTEND DRAINAGE PANEL OVER THE FULL HEIGHT OF THE WALL. A 12" THICK LAYER OF FREE-DRAINING GRANULAR FILL MAY BE USED IN LIEU OF THE DRAINAGE PANEL.
- ROOF AND SURFACE RUNOFF SHOULD NOT DISCHARGE INTO THE FOOTING DRAIN SYSTEM.

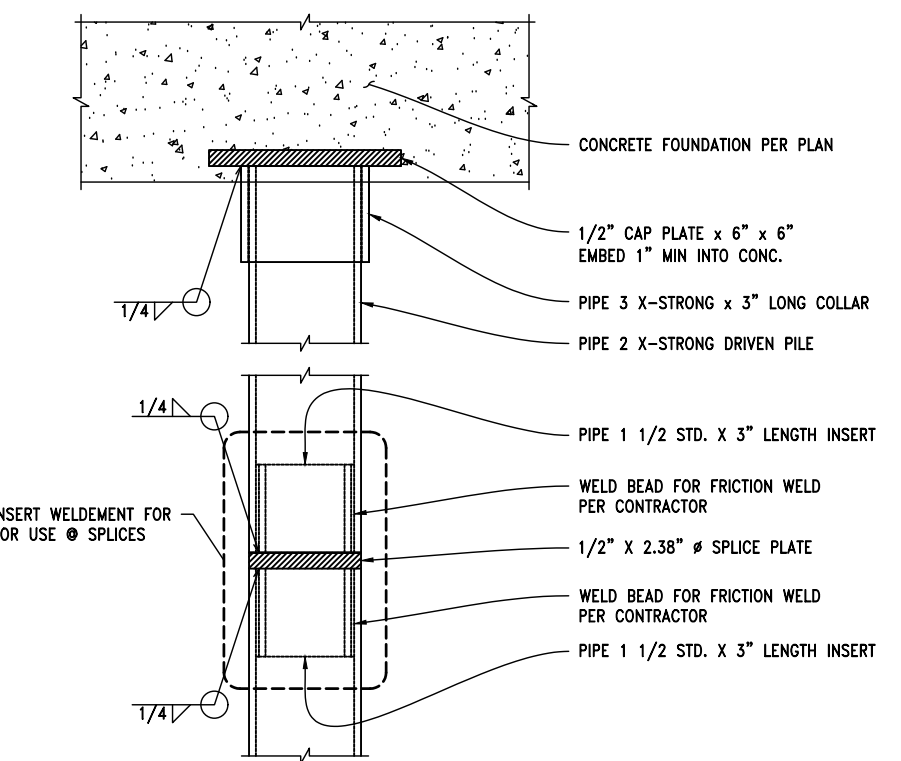


**6 DETAIL**  
SCALE: 3/4"=1'-0"  
TYPICAL RETAINING WALL

MAX RETAINED HEIGHT	WALL			FOOTING			PILE SPACING
	THICKNESS	VERTICAL REINFORCEMENT	TOE HEEL WIDTH DEPTH	TOP TRANSVERSE REINFORCEMENT	BOTTOM TRANSVERSE REINFORCEMENT	PILE SPACING	
2'-0"	10"	#4 @ 12" O.C.	0'-6" 1'-3" 10"	#4 @ 12" O.C.	#4 @ 12" O.C.	6'-0"	
4'-0"	10"	#4 @ 12" O.C.	1'-0" 2'-0" 10"	#4 @ 12" O.C.	#4 @ 12" O.C.	3'-10"	
6'-0"	10"	#4 @ 12" O.C.	1'-6" 3'-3" 10"	#4 @ 12" O.C.	#4 @ 12" O.C.	1'-9"	
8'-0"	10"	#5 @ 12" O.C.	1'-6" 4'-0" 12"	#4 @ 12" O.C.	#4 @ 12" O.C.	1'-2"	

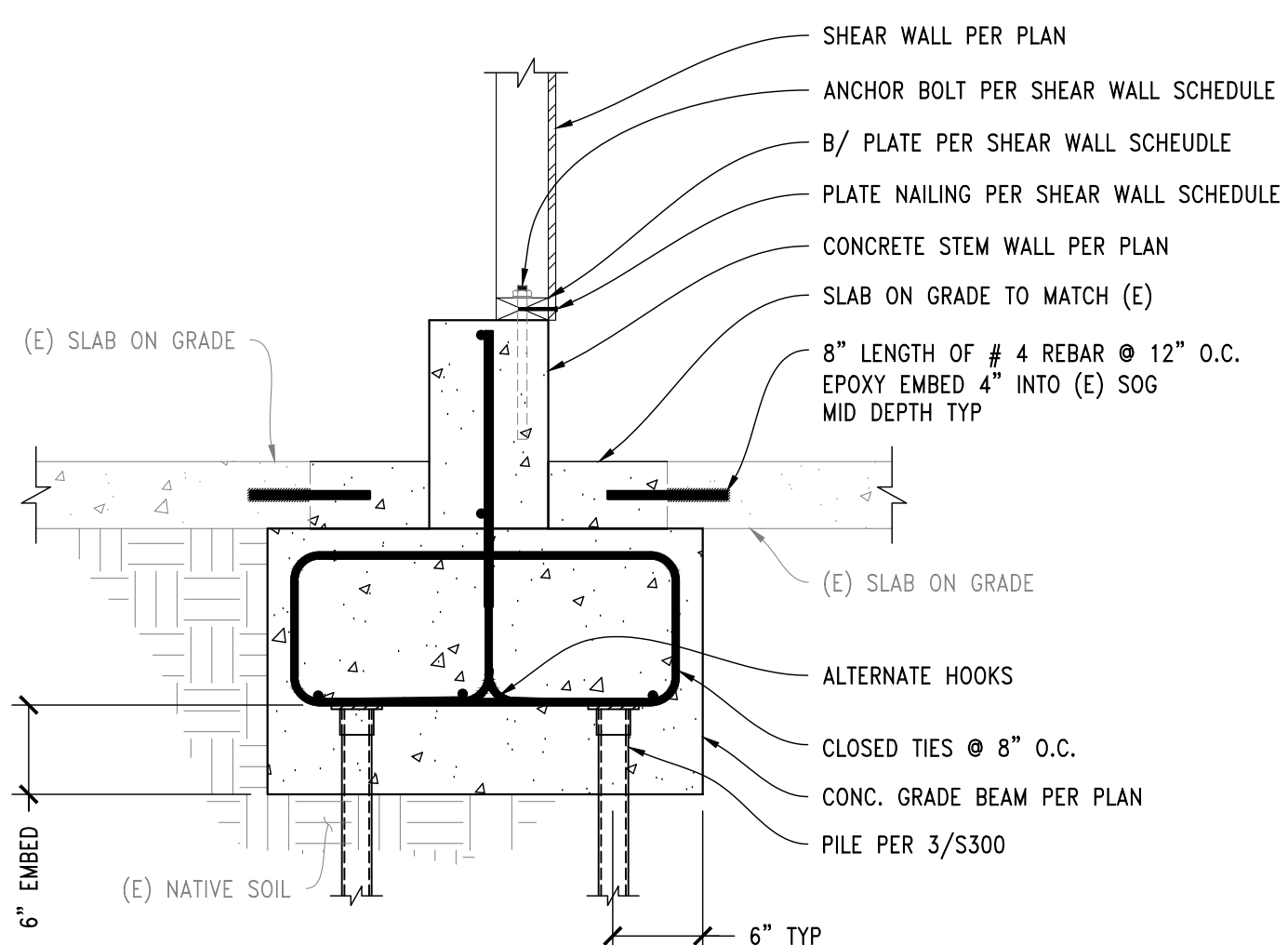


**2 DETAIL**  
SCALE: 3/4"=1'-0"  
TYPICAL CORNER DETAIL

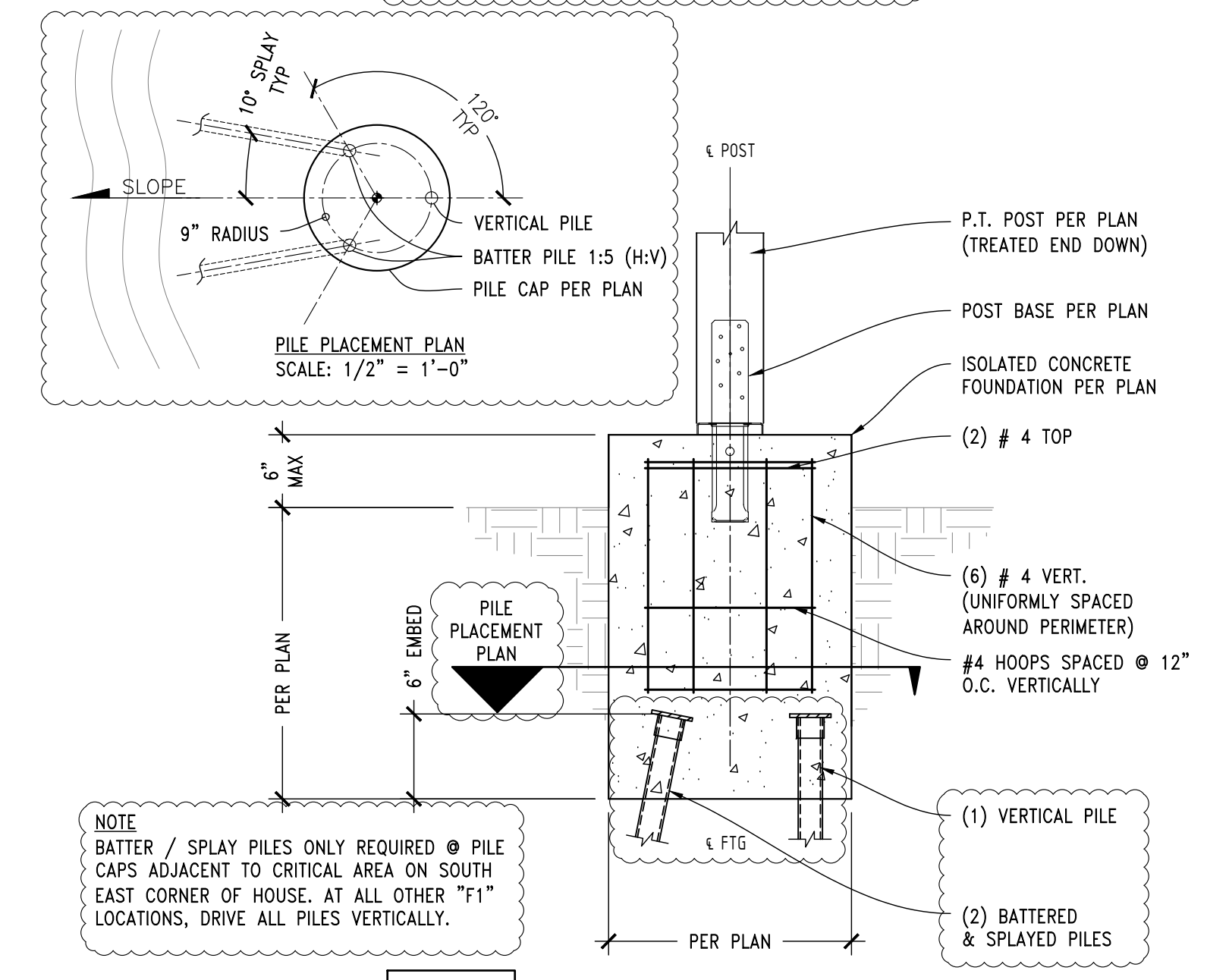


**3 DETAIL**  
SCALE: 3/4"=1'-0"  
TYPICAL 2" PIPE PILE ASSEMBLY

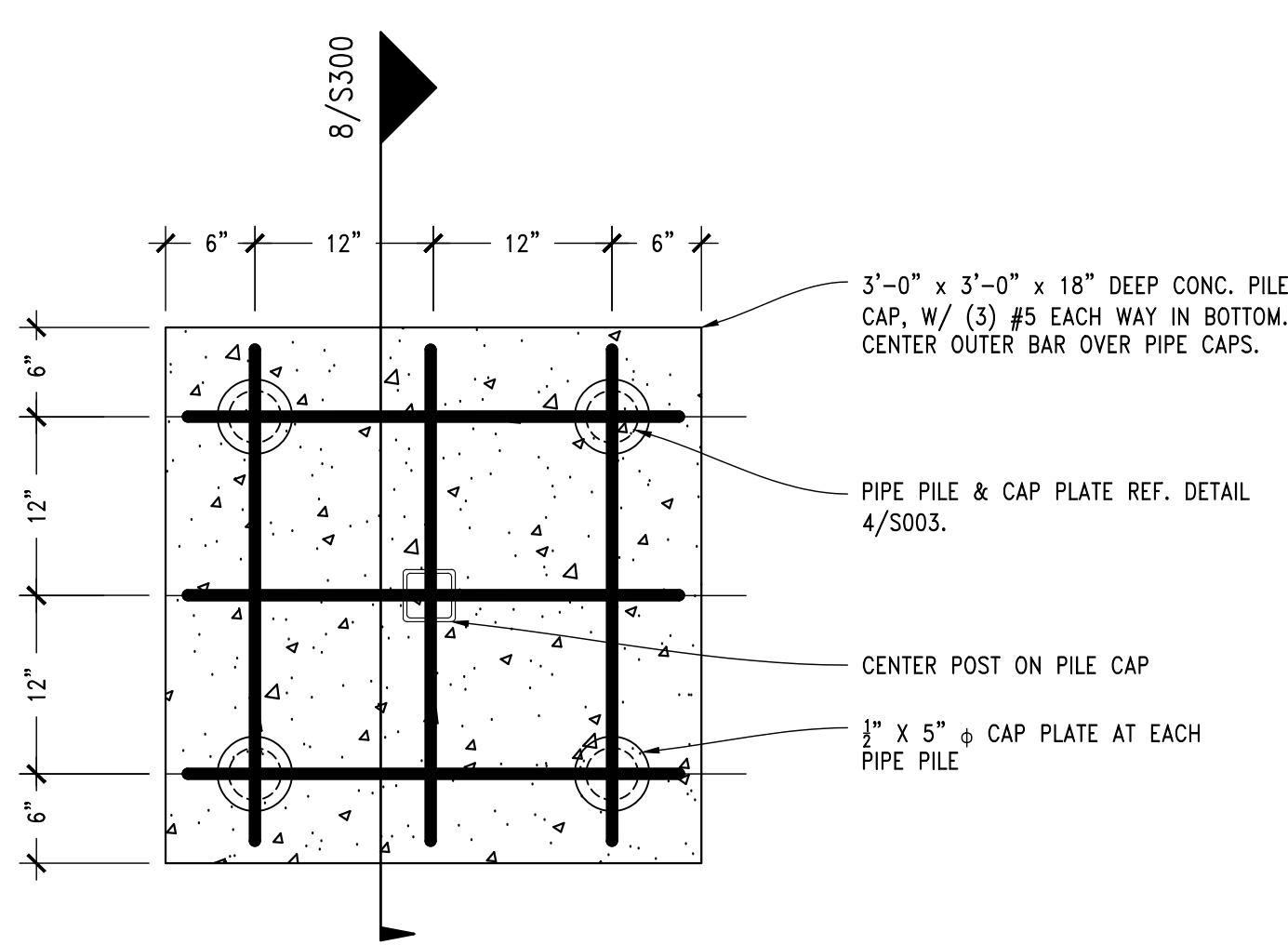
- NOTE
- ATTACH B/ PLATE DIRECTLY TO SOG @ SIM
  - AT SINGLE ROW OF PILES, CENTER PILE UNDER FOOTING



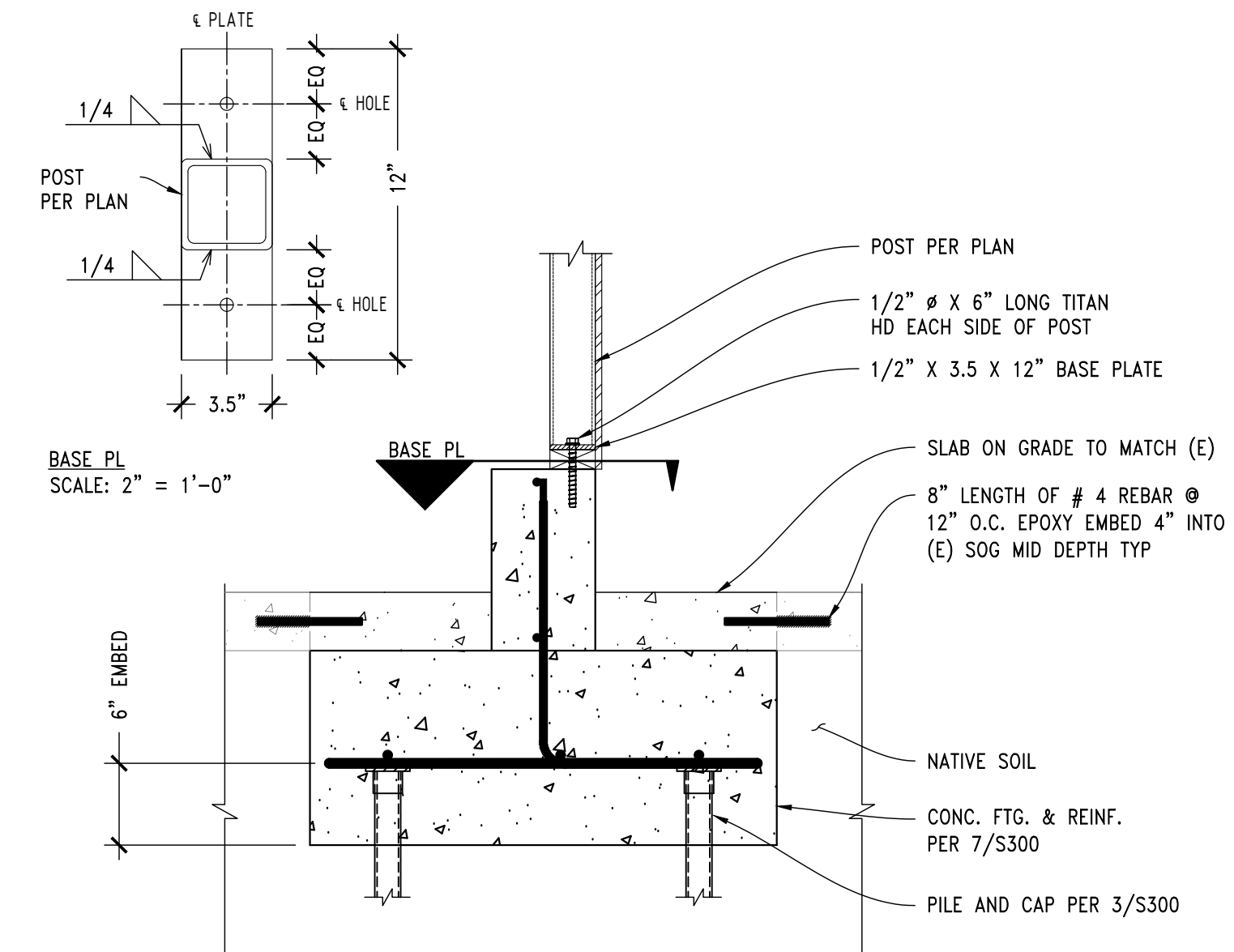
**4 DETAIL**  
SCALE: 1"=1'-0"  
NEW INTERIOR FOOTING



**5 DETAIL**  
SCALE: 1"=1'-0"  
ISOLATED POST BASE

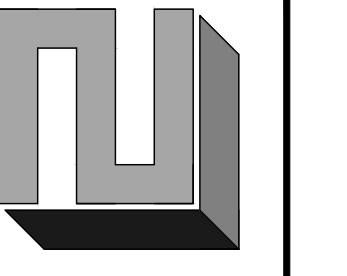


**7 DETAIL**  
SCALE: 3/4"=1'-0"  
PILE CAP PLAN

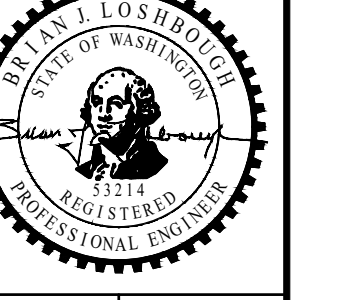


**8 DETAIL**  
SCALE: 3/4"=1'-0"  
PILE CAP SECTION

CHECK SET - NOT FOR CONSTRUCTION

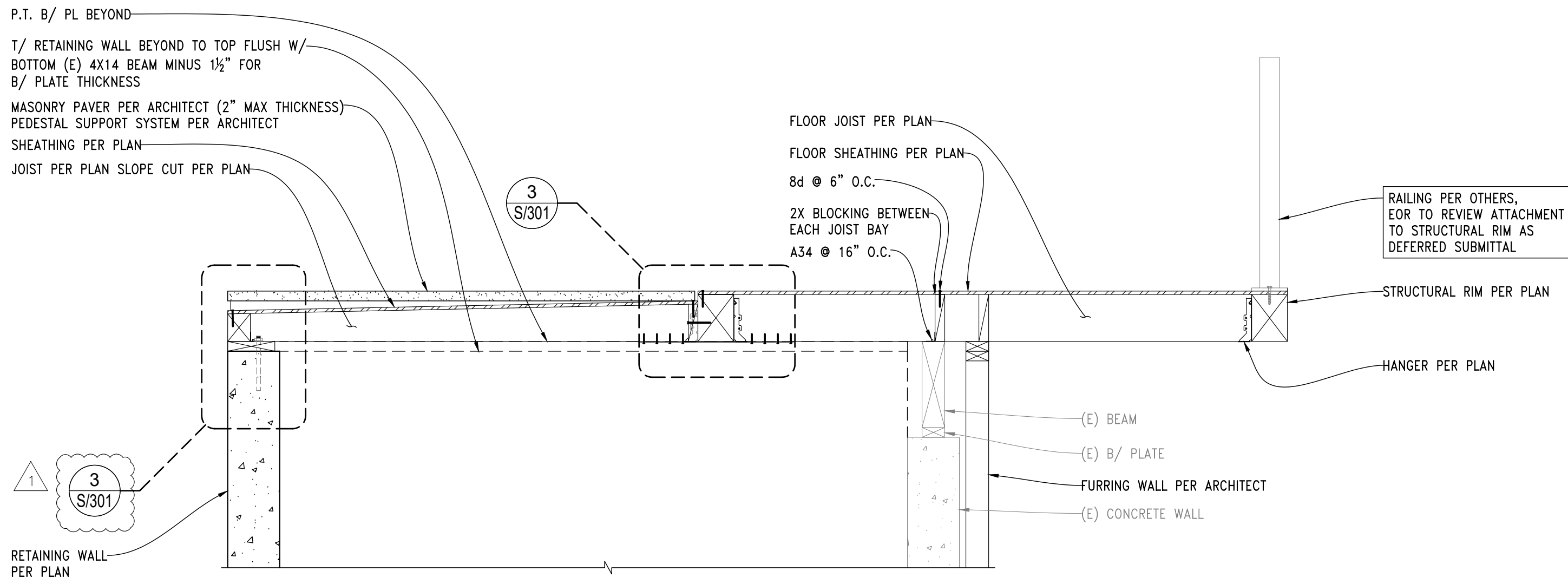


DATE	REVISION	DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1	12/26/2018	BLDG. DPT. COMMENTS ROUND 2

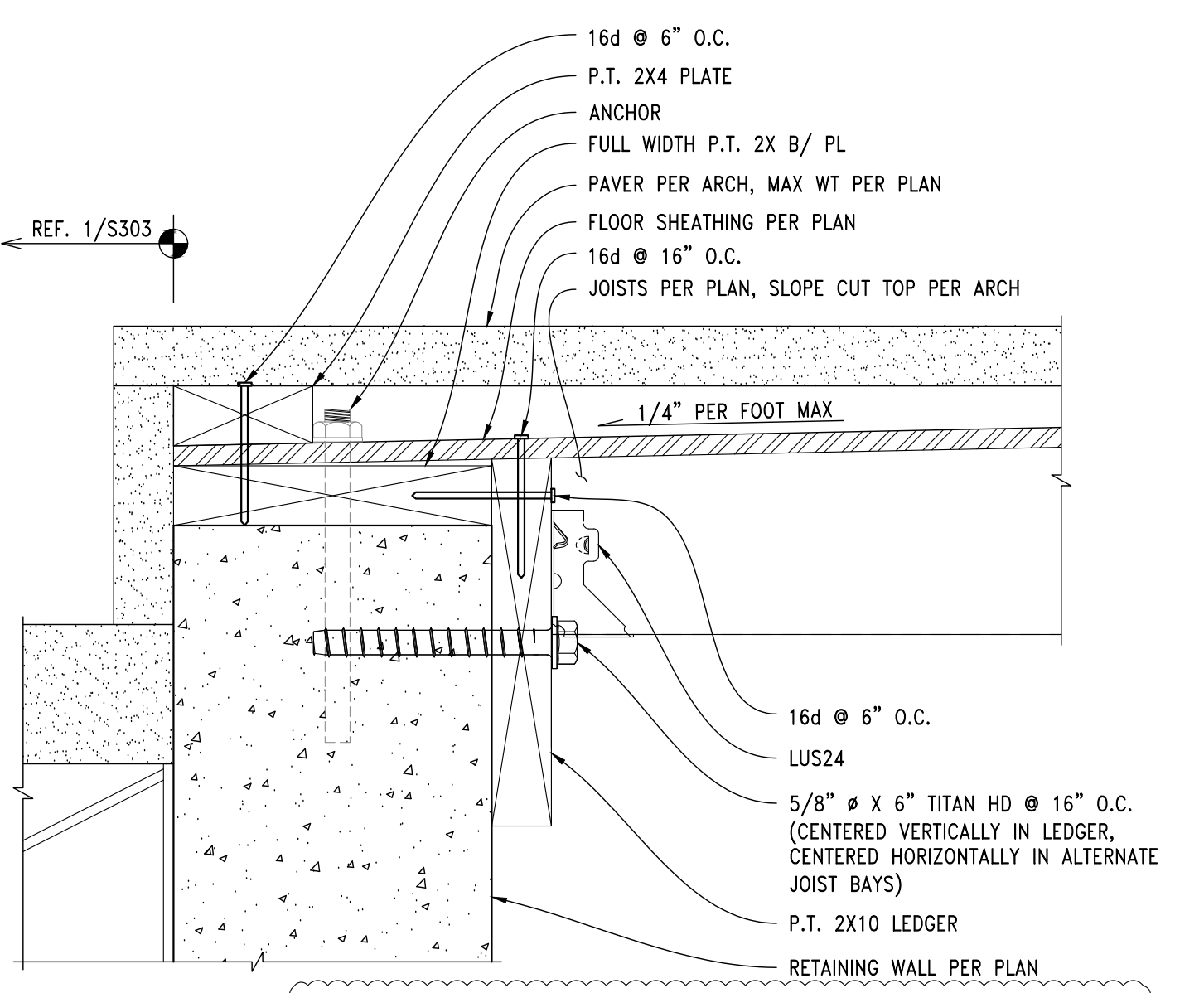


**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
SITE COPY

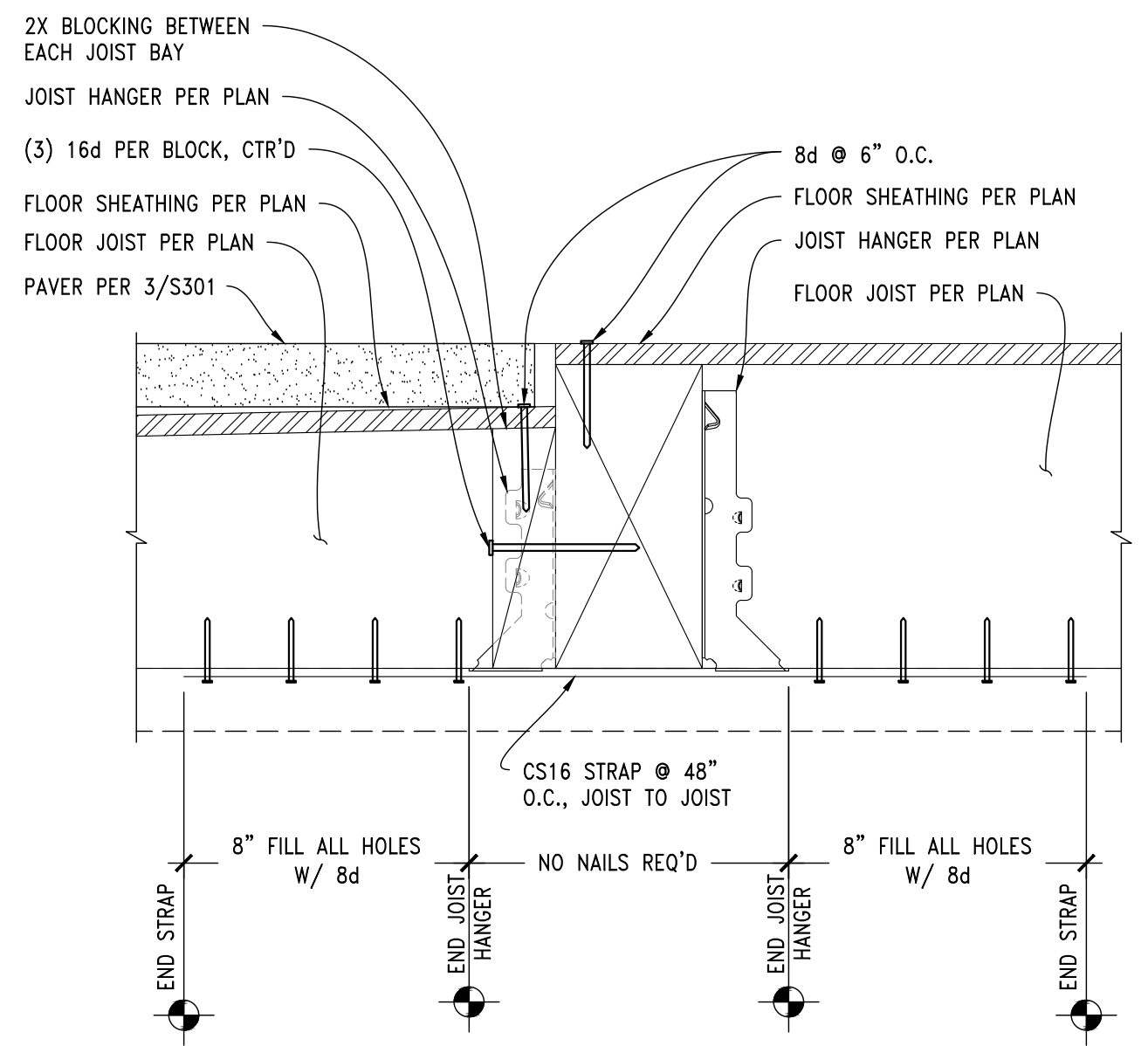
CHK BY: BJL	DRW BY: BJL
SCALE: AS SHOWN	
BAR #1"	
FULL SIZE	
DATE: 12/26/2018	
JOB NO: 18-038	
SHEET: 8 OF 11	
DWG NO: S300	



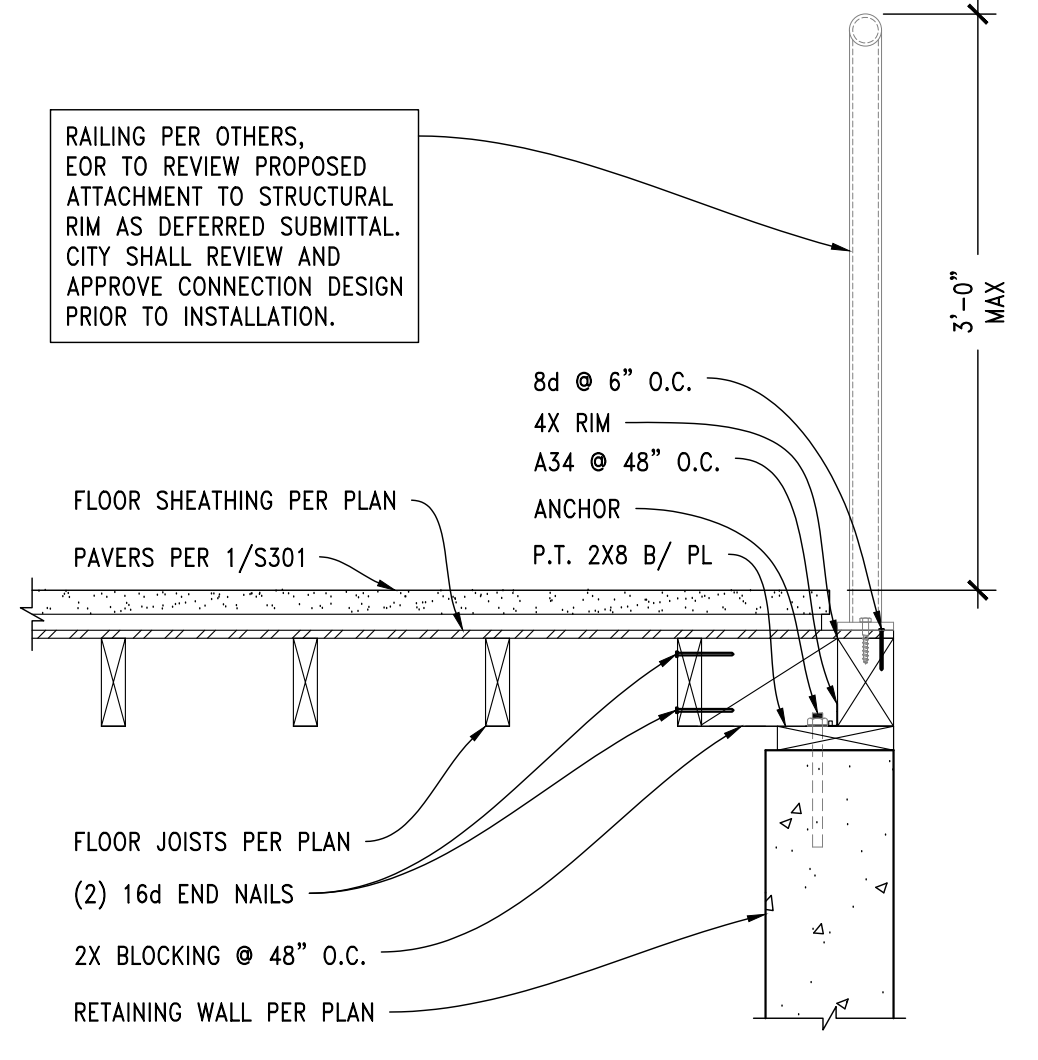
**1 DETAIL**  
 SCALE: 3/4" = 1'-0"  
 SECTION THROUGH MAIN FLOOR ENTRY



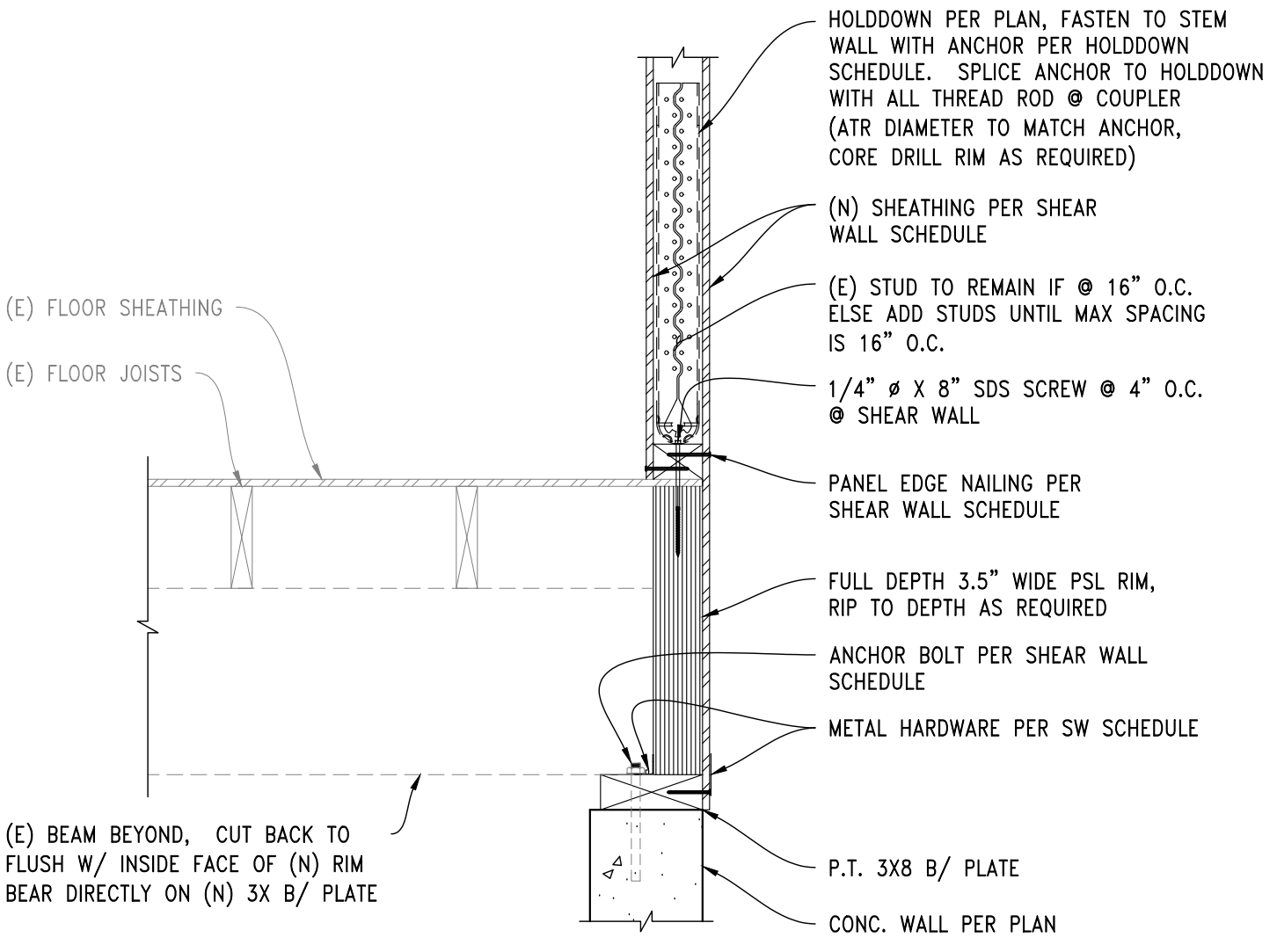
**3 DETAIL**  
 SCALE: 3" = 1'-0"  
 TAPERED JOISTS PERP. TO RETAINING WALL @ PORCH



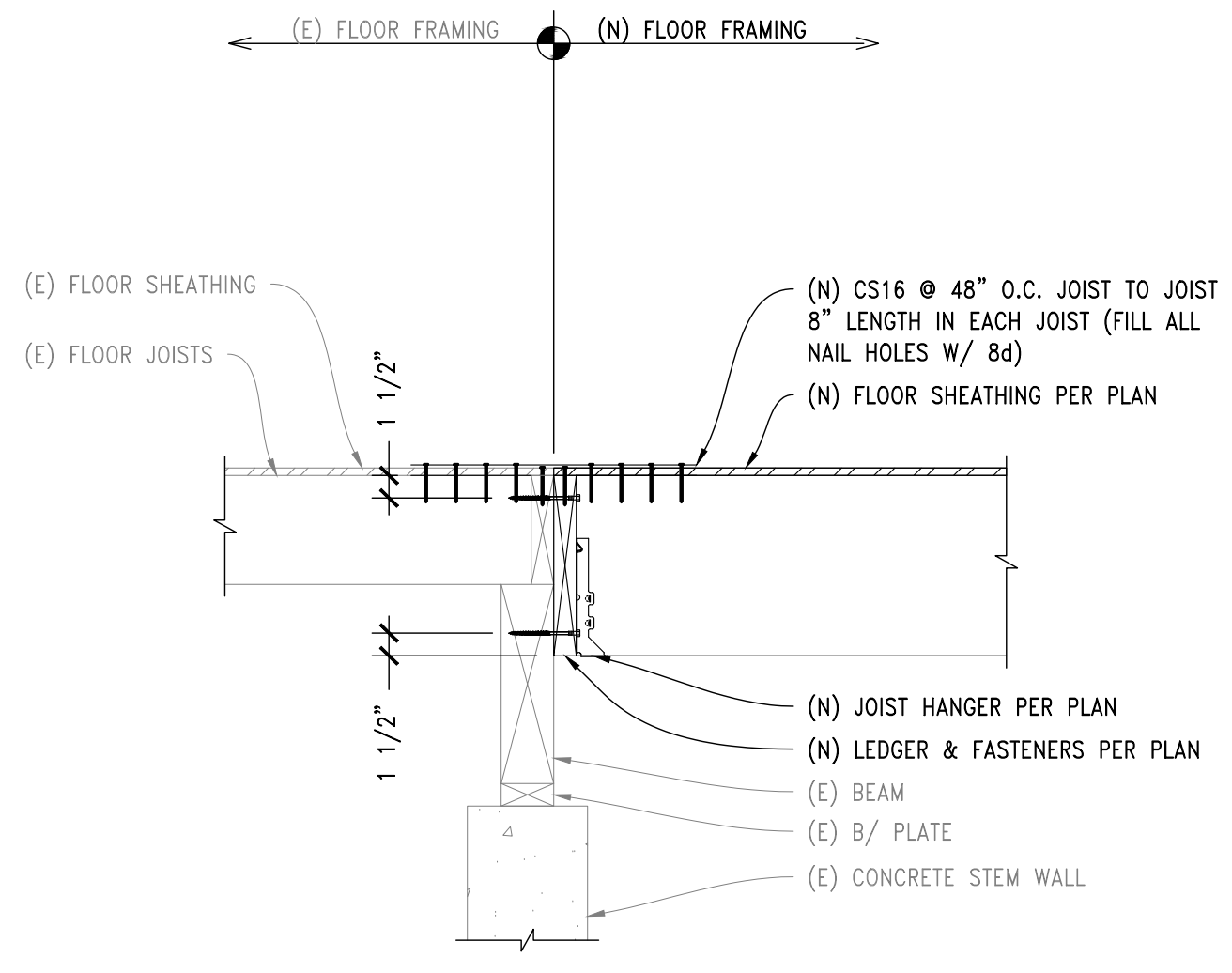
**4 DETAIL**  
 SCALE: 3" = 1'-0"  
 FRAMING AT MAIN ENTRY THRESHOLD



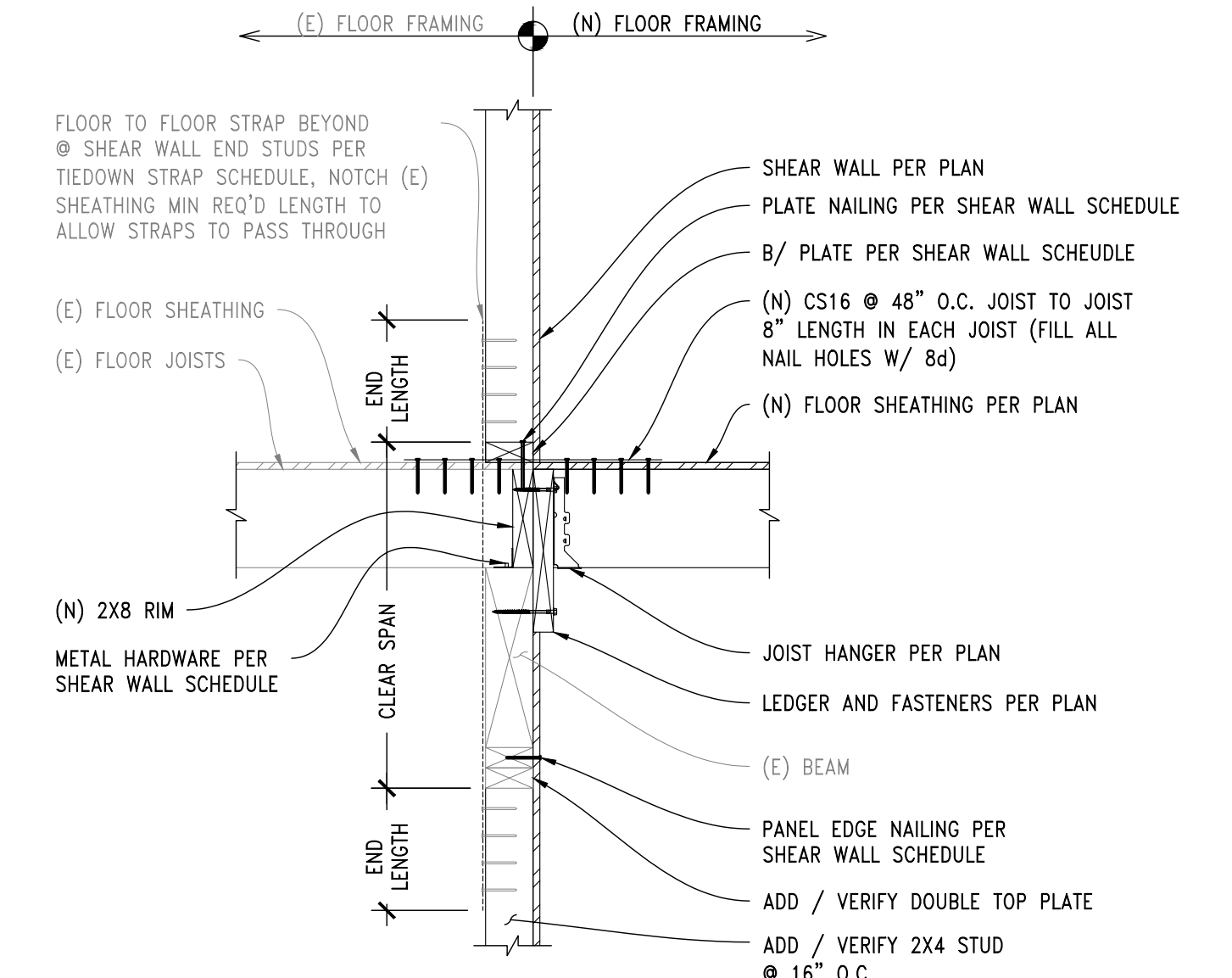
**5 DETAIL**  
 SCALE: 1" = 1'-0"  
 TAPERED JOISTS PARALLEL TO RETAINING WALL @ PORCH



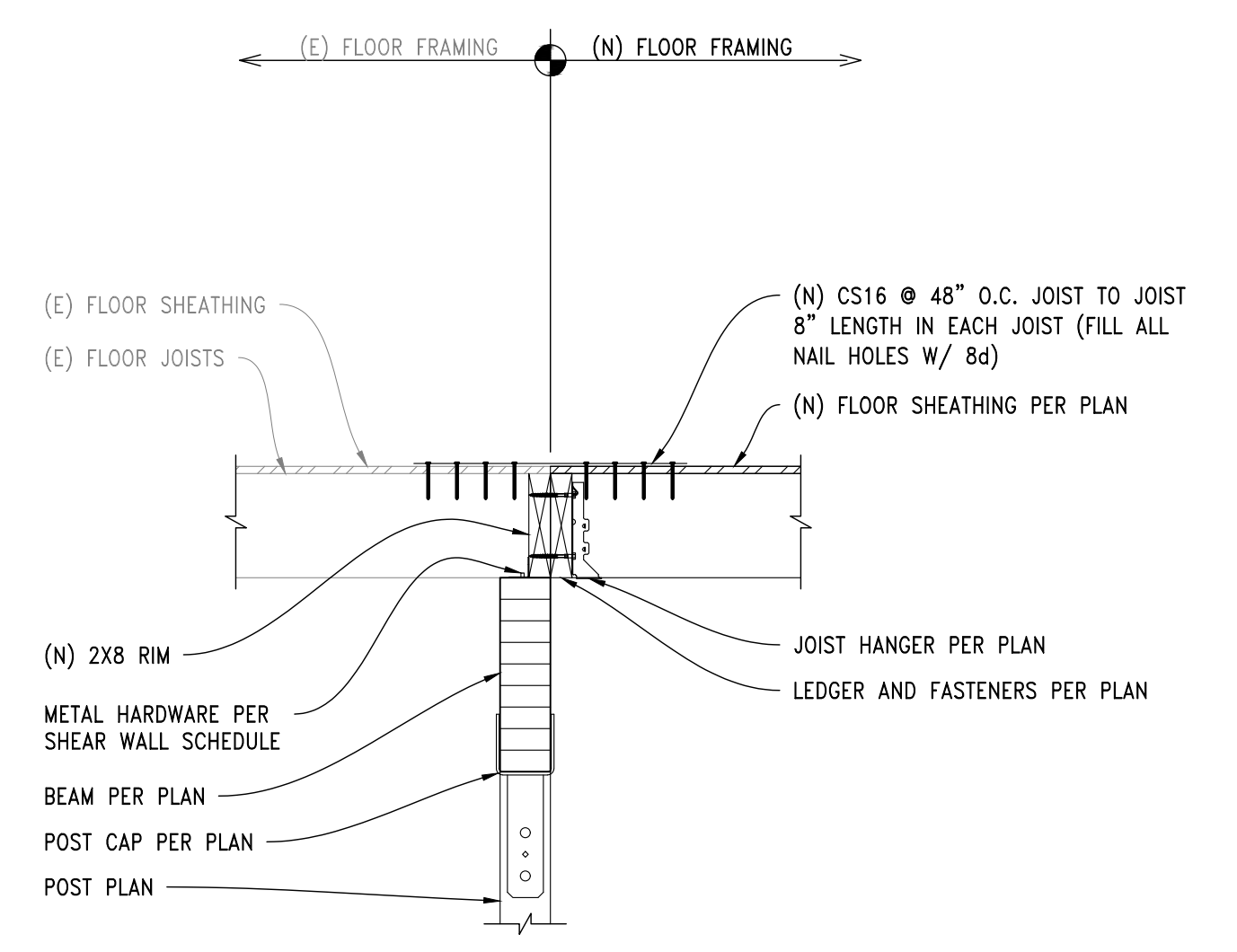
**6 DETAIL**  
 SCALE: 1" = 1'-0"  
 SHEAR WALL @ NEW CONC STEM WALL



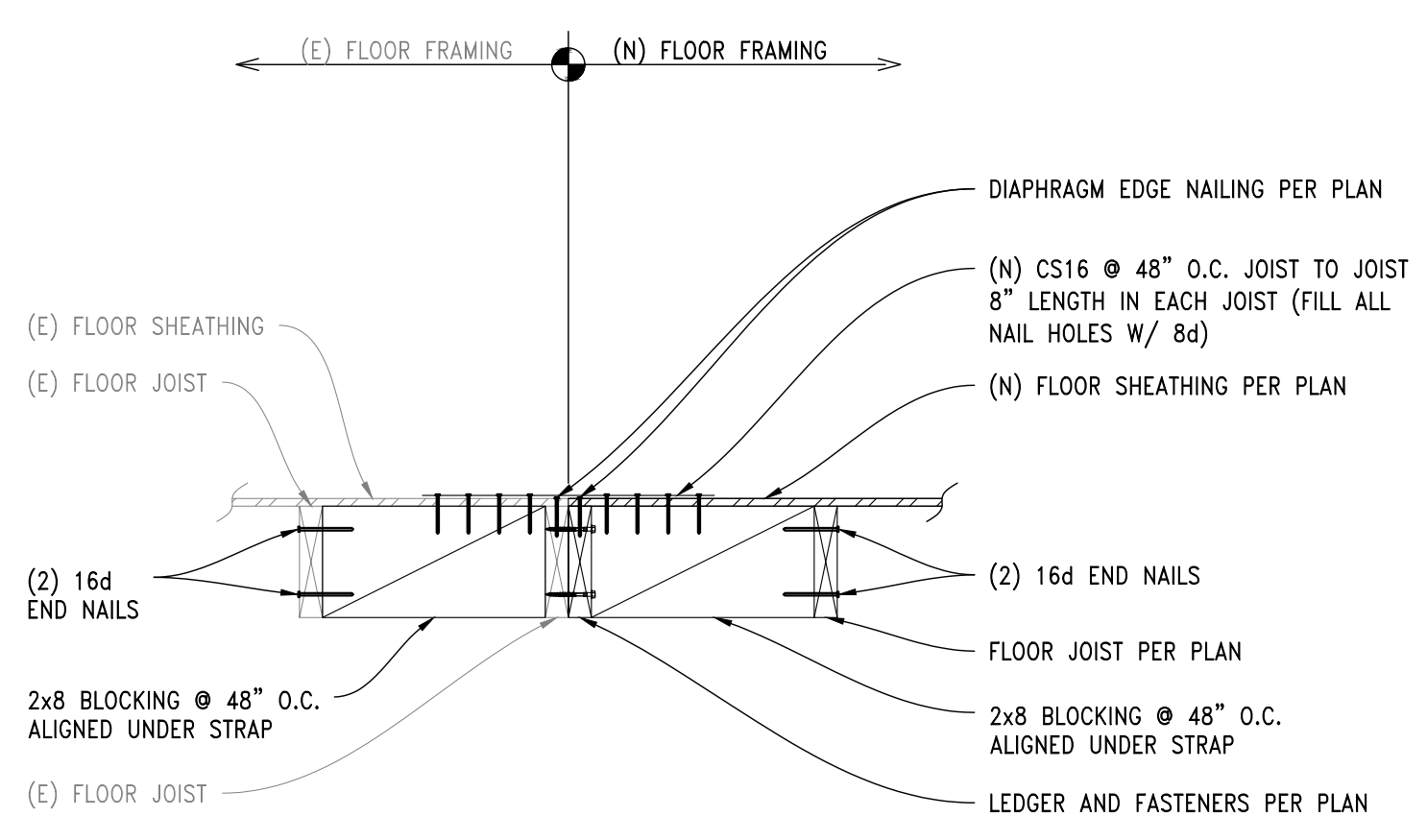
**7 DETAIL**  
 SCALE: 1" = 1'-0"  
 NEW JOISTS TO EXISTING FRAMING @ ADDITION



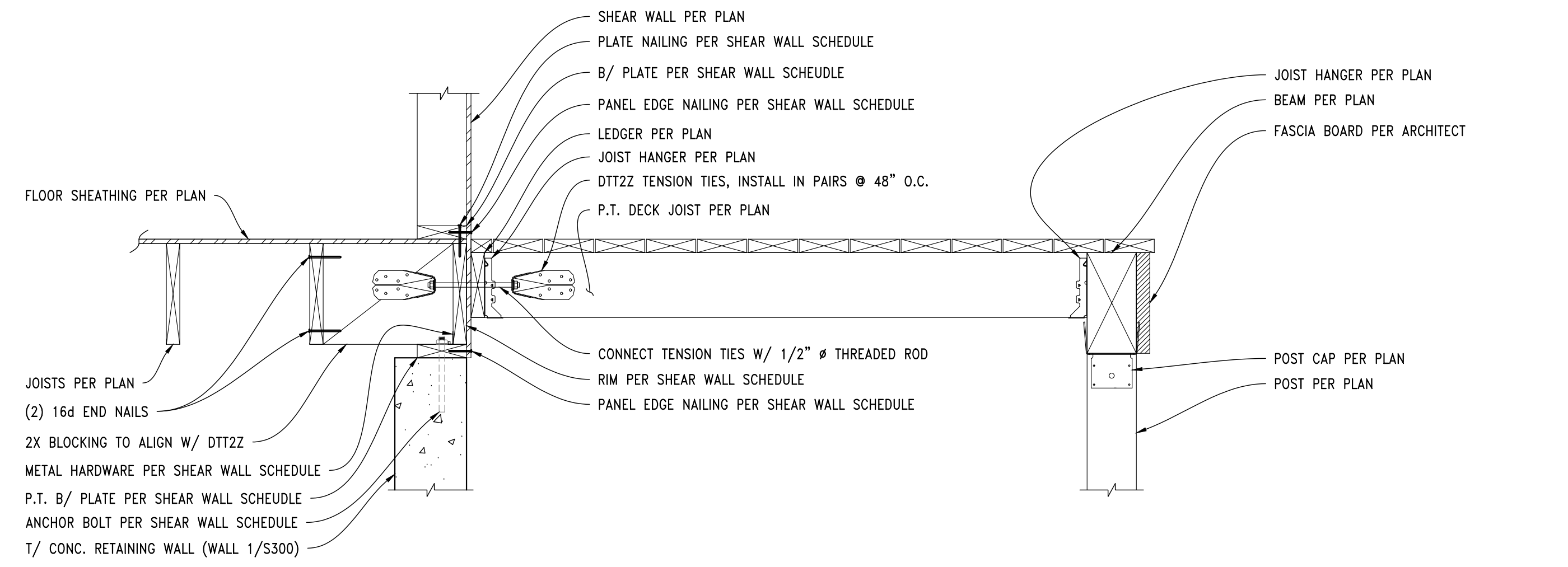
**8 DETAIL**  
 SCALE: 3/4"=1'-0"  
 TEXT\_1



**9 DETAIL**  
 SCALE: 1" = 1'-0"  
 NEW JOISTS TO EXISTING FRAMING AT INFILL FRAMING

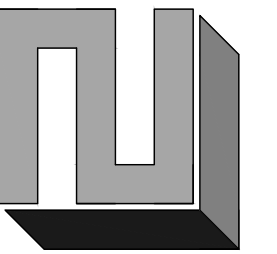


**10 DETAIL**  
 SCALE: 3/4"=1'-0"  
 FLOOR TO FLOOR CONNECTION



**11 DETAIL**  
 SCALE: 1" = 1'-0"  
 SECTION @ NEW DECK

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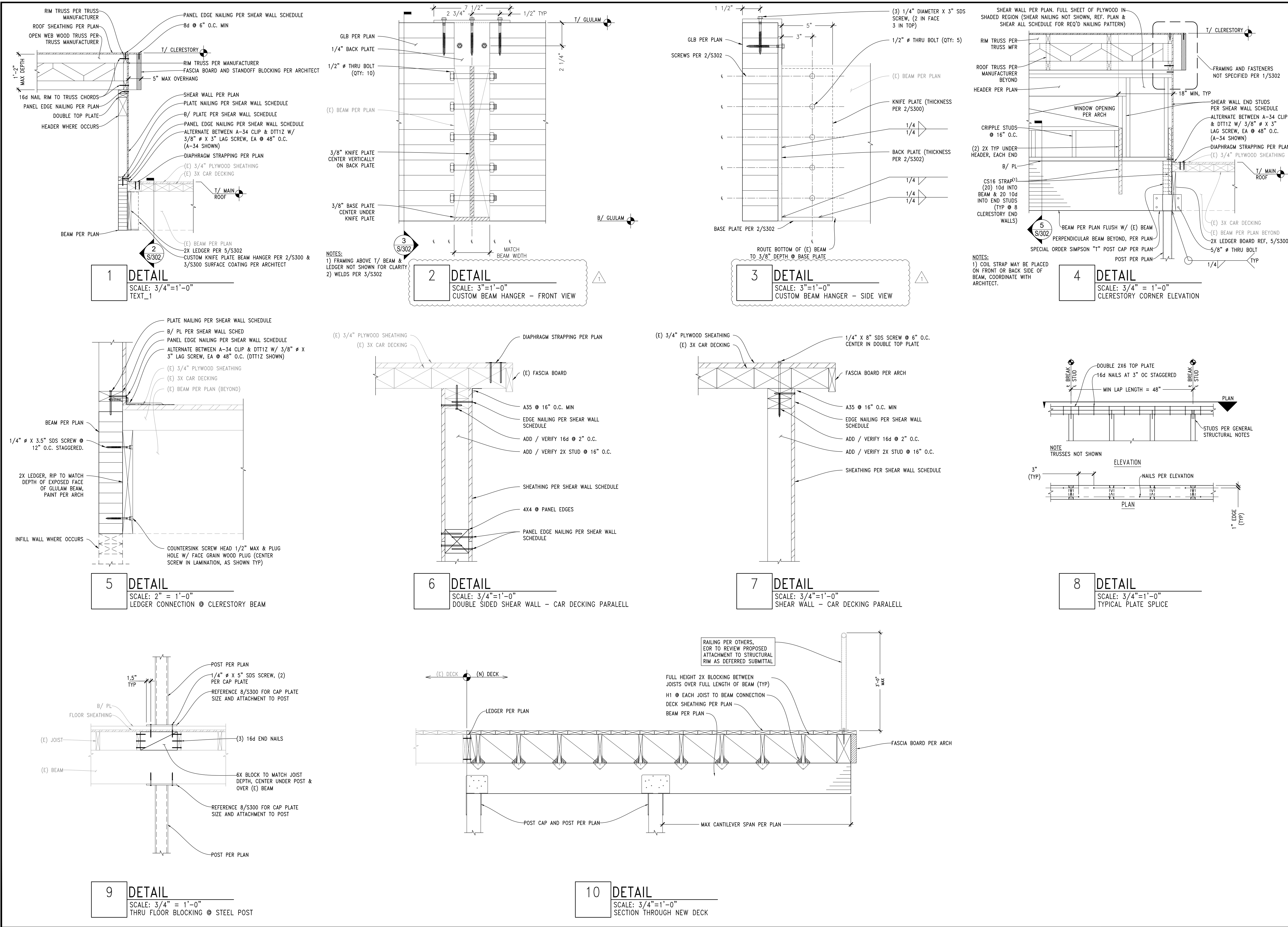
DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2



PEHA RESIDENCE  
 7653 W MERCER WAY, MERCER ISLAND, WA 98040  
 STRUCTURAL MAIN FLOOR DETAILS

**REVIEWED FOR CODE COMPLIANCE**  
 January 23, 2019  
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CHK BY: BJL	DRW BY: BJL
SCALE: AS SHOWN	
BAR = 1"	
FULL SIZE	
DATE: 12/26/2018	
JOB NO: 18-038	
SHEET: 9 OF 11	
DWG NO: S301	



CHECK SET - NOT FOR CONSTRUCTION

**L2 ENGINEERS**  
DESIGN AND PLANNING  
17848 NE 198TH PLACE  
WOODINVILLE, WA 98072

DATE: 10/29/2018  
REVISION: 12/26/2018  
BLDG. DPT. COMMENTS ROUND 1  
BLDG. DPT. COMMENTS ROUND 2

DATE: 10/29/2018  
REVISION: 12/26/2018  
BLDG. DPT. COMMENTS ROUND 1  
BLDG. DPT. COMMENTS ROUND 2

PEHA RESIDENCE  
7653 W MERCER WAY, MERCER ISLAND, WA 98040

STRUCTURAL FRAMING DETAILS

**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
SITE COPY

CHK BY: BJJ  
DRW BY: BJJ

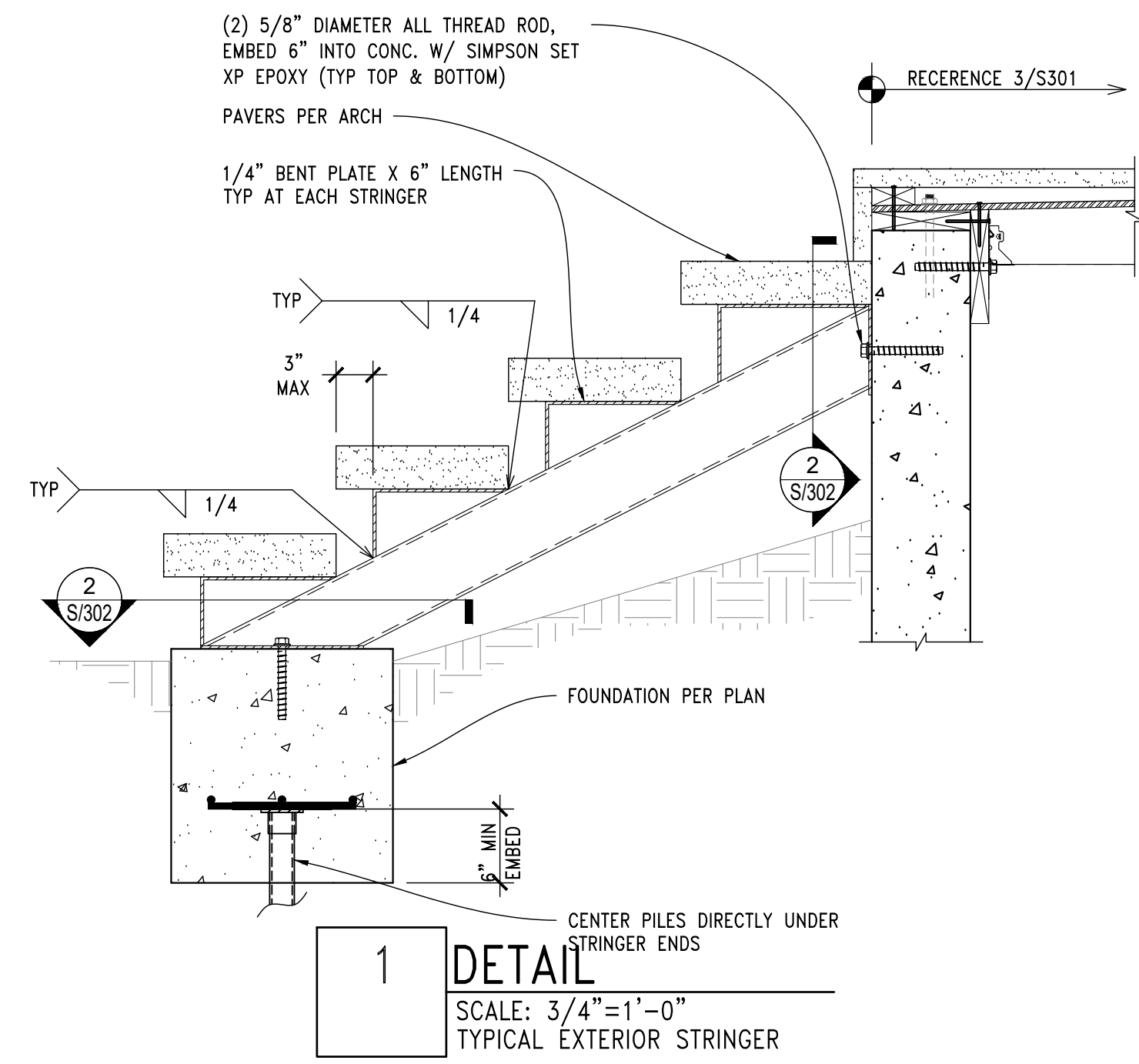
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FULL SIZE

DATE: 12/26/2018

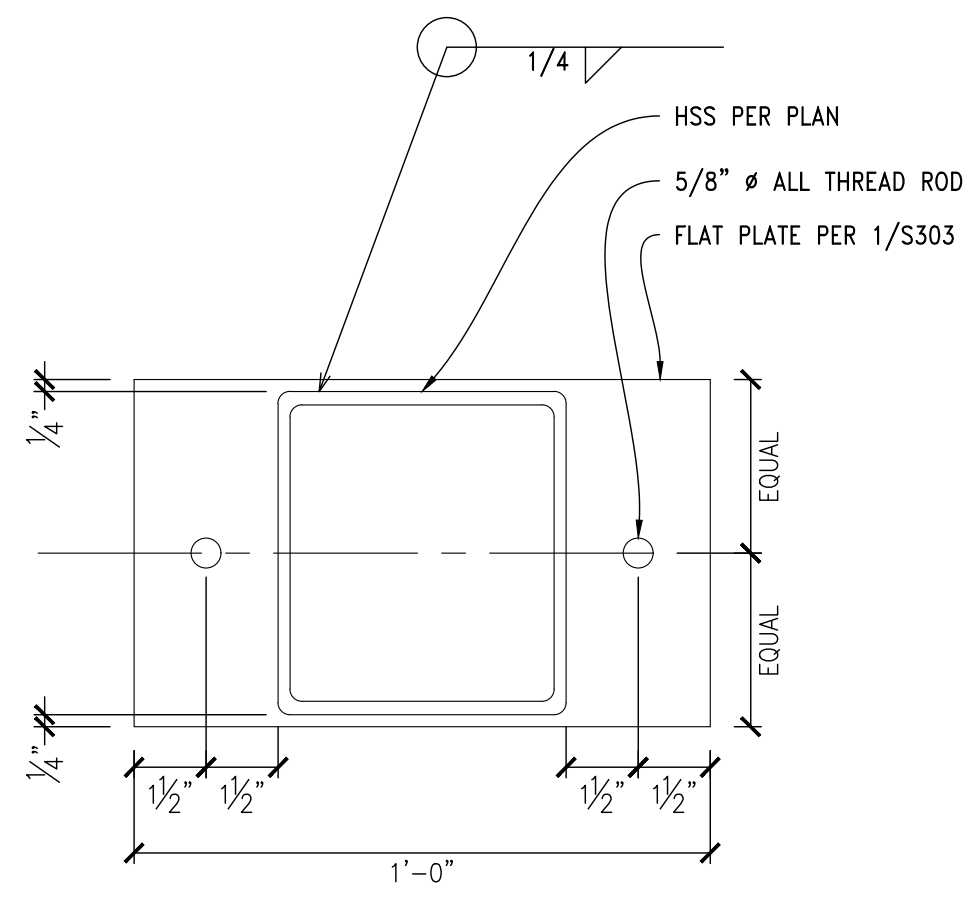
JOB NO: 18-038

SHEET: 10 OF 11

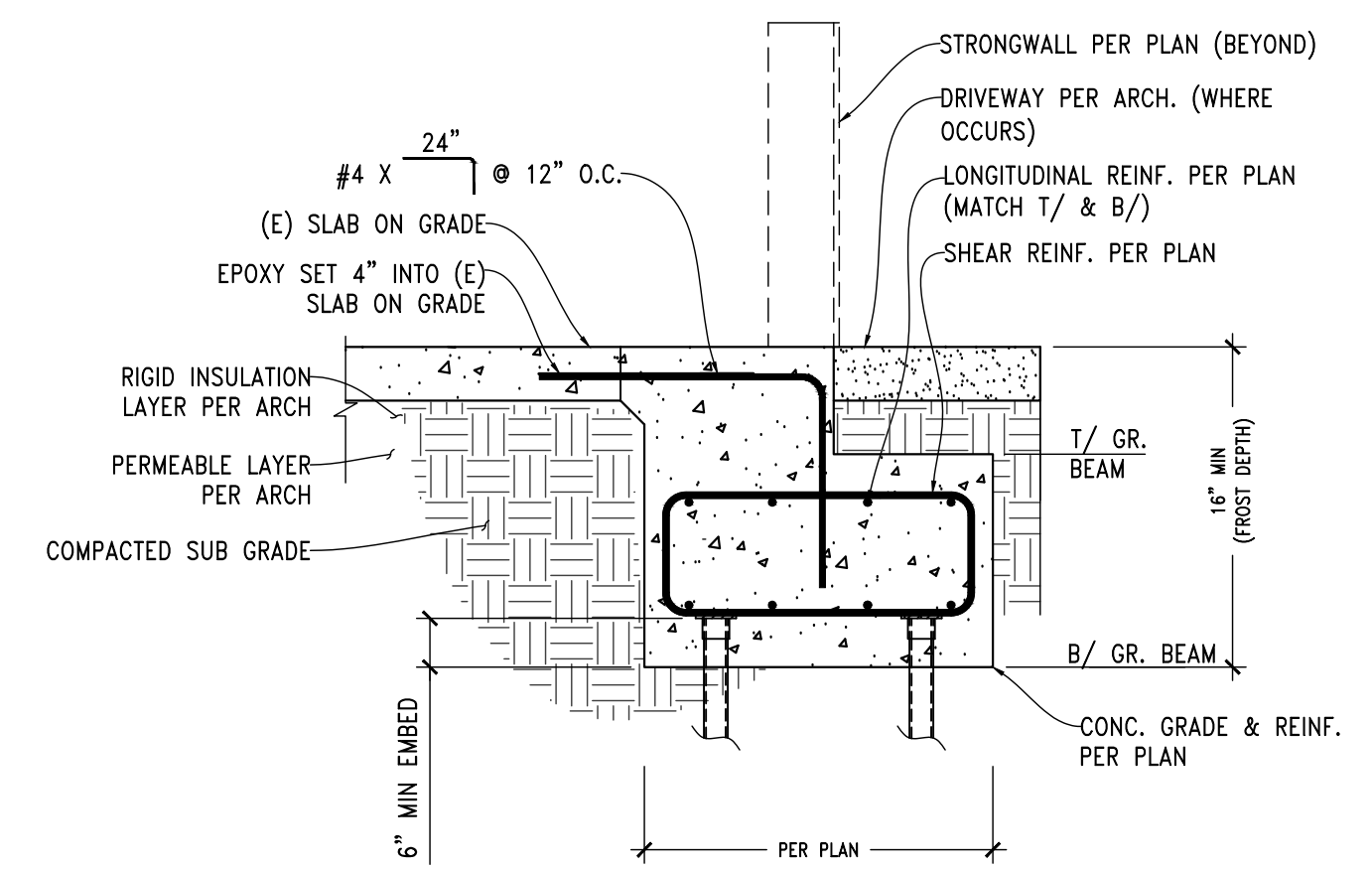
DWG NO: S302



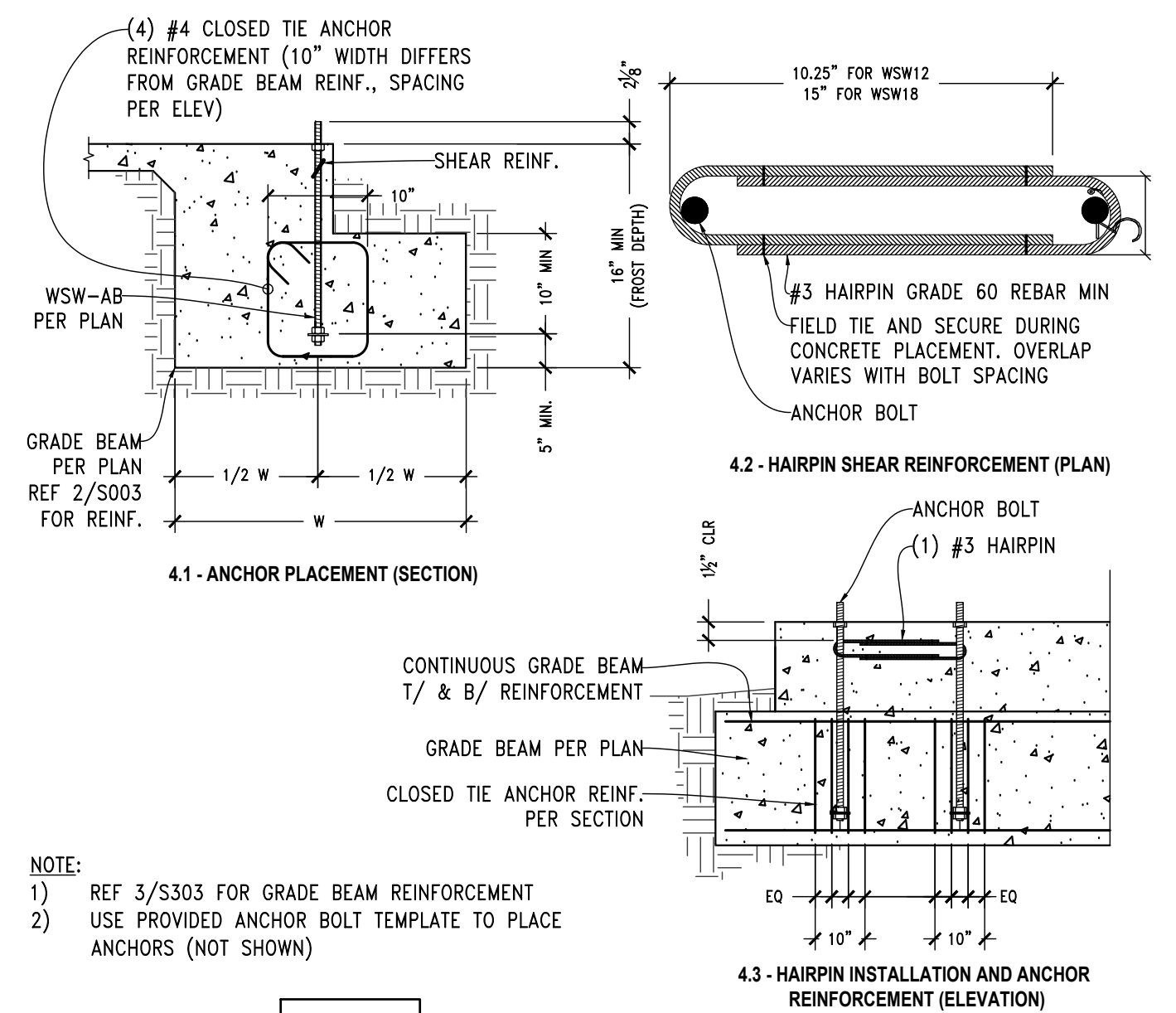
**1 DETAIL**  
SCALE: 3/4" = 1'-0"  
TYPICAL EXTERIOR STRINGER



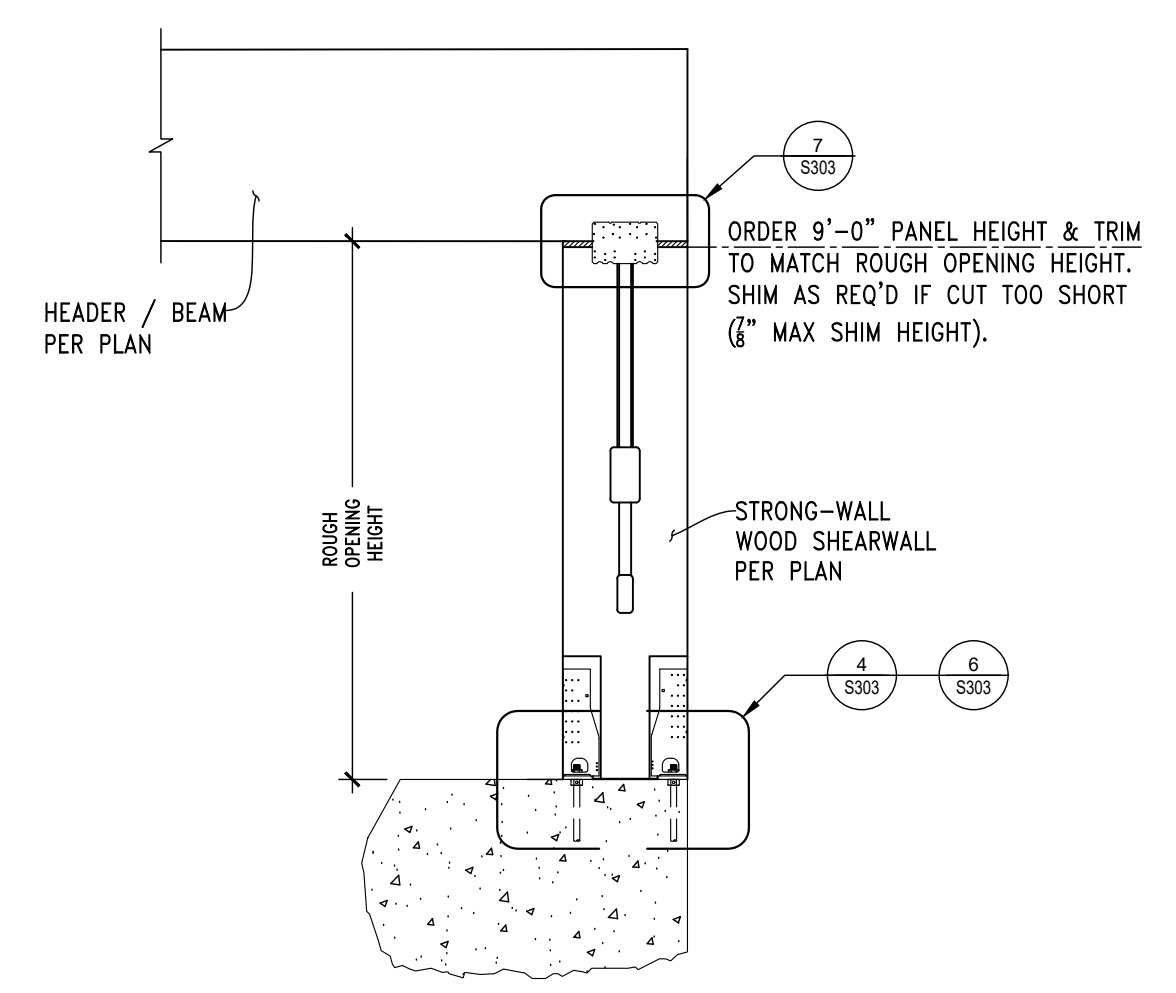
**2 DETAIL**  
SCALE: 3" = 1'-0"  
STRINGER CAP PLATE



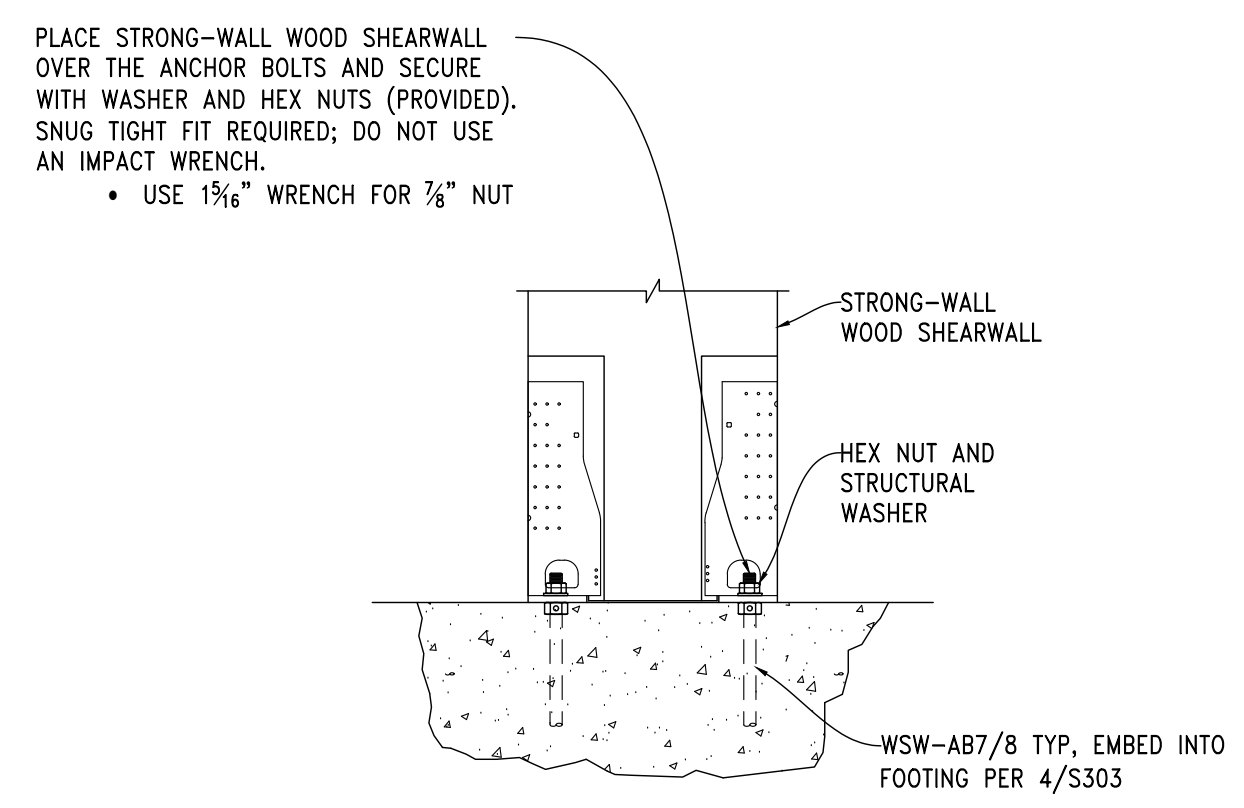
**3 DETAIL**  
SCALE: 3" = 1'-0"  
CUSTOM BEAM HANGER - SIDE VIEW



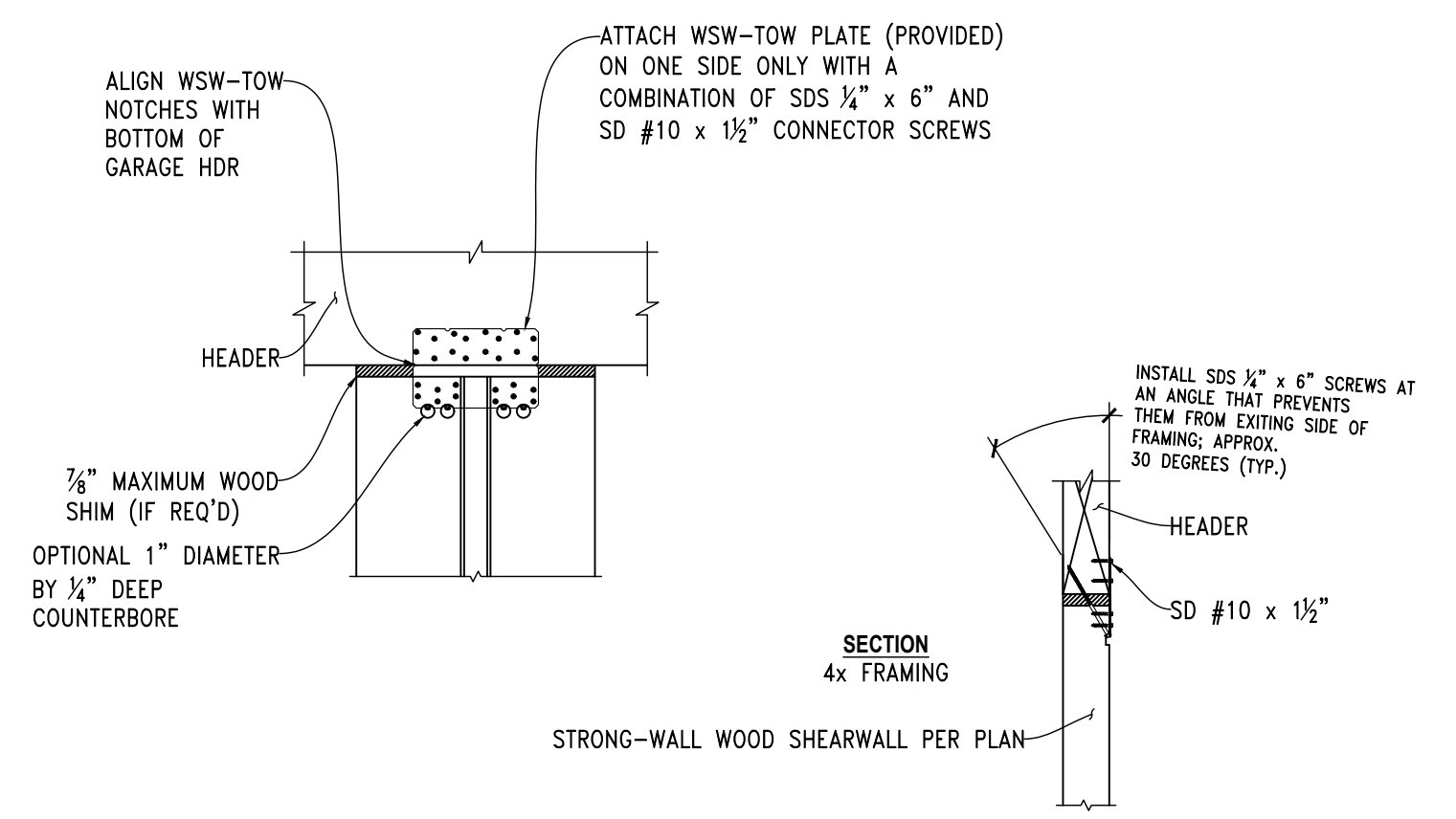
**4 DETAIL**  
SCALE: 3/4" = 1'-0"  
WOOD STRONG WALL ANCHORAGE



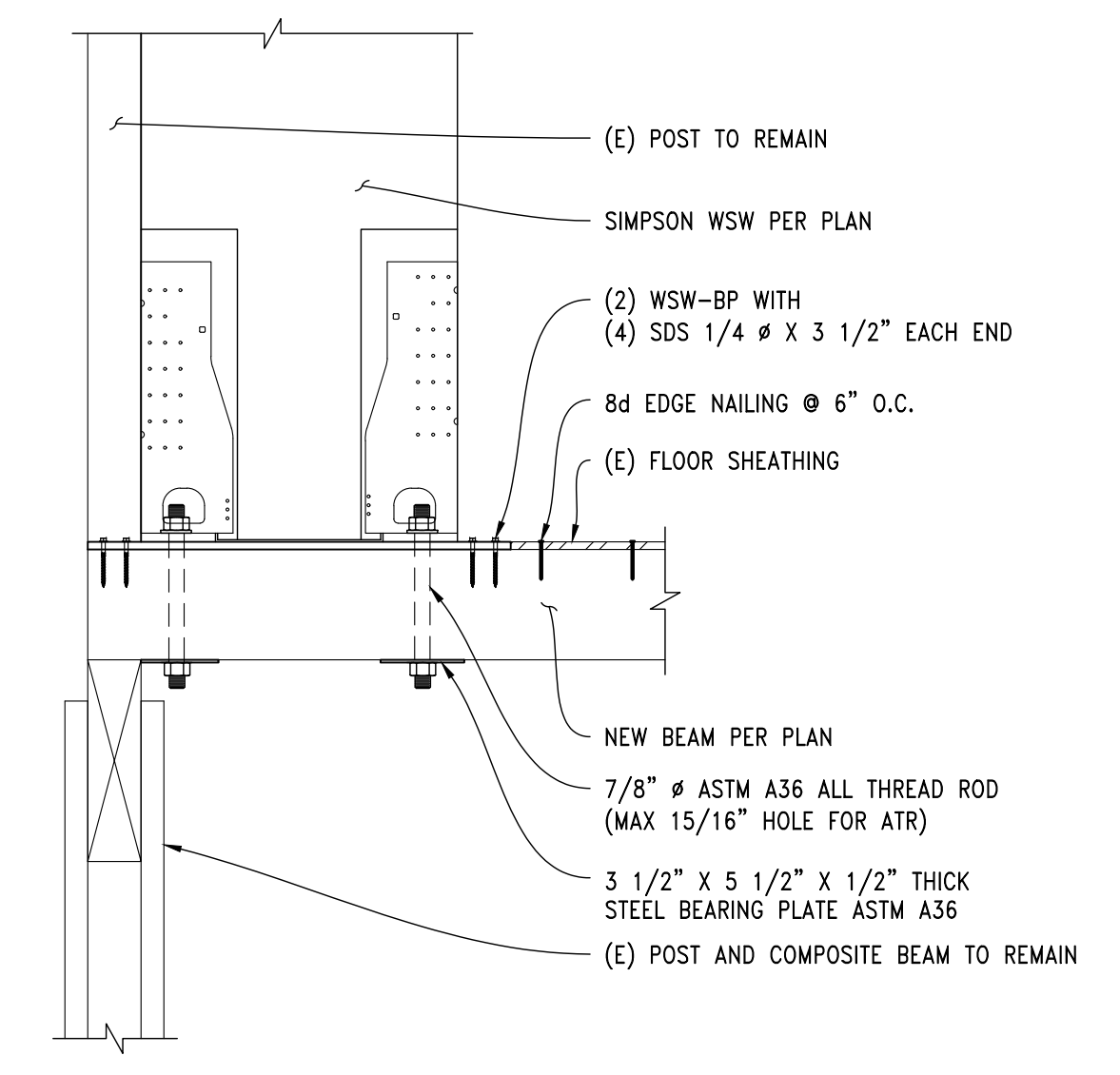
**5 DETAIL**  
SCALE: 3/4" = 1'-0"  
TYPICAL WSW ELEVATION



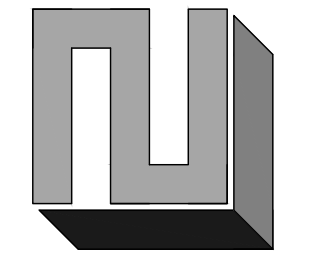
**6 DETAIL**  
SCALE: 3/4" = 1'-0"  
TYPICAL WSW BASE



**7 DETAIL**  
SCALE: 3/4" = 1'-0"  
TYPICAL WSW TOP CONNECTION



**8 DETAIL**  
SCALE: 3/4" = 1'-0"  
WSW TO BEAM



DATE	REVISION
10/29/2018	BLDG. DPT. COMMENTS ROUND 1
12/26/2018	BLDG. DPT. COMMENTS ROUND 2



PEHA RESIDENCE  
7653 W MERCER WAY, MERCER ISLAND, WA 98040  
STRUCTURAL FRAMING DETAILS

**REVIEWED FOR CODE COMPLIANCE**  
January 23, 2019  
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CHK BY: BJJ  
DRW BY: BJJ

SCALE: AS SHOWN  
BAR = 1"  
FULL SIZE

DATE: 12/26/2018

JOB NO: 18-038

SHEET: 11 OF 11

DWG NO: S303